



COMBINED CONSTRUCTION PERMIT APPLICATION (RESIDENTIAL AND NONRESIDENTIAL)

*This application is pursuant to the provisions of
Millersburg Municipal Code (MMC)*

For Staff Use Only:	Date _____
Permit No: _____	Sent : _____
Sent to Albany for water meter install request? <input type="checkbox"/>	Staff Name: _____

Date: _____

Applicant Name: _____ Phone Number: _____

Address: _____ Email Address: _____

Owner Name: _____ Phone Number: _____

Address: _____ Email Address: _____

Contractor Name: _____ Phone Number: _____

Address: _____ Email Address: _____

Property Location/Address: _____

Assessor Map and Tax Lot No: _____

The following permits are all required for Single Family Homes. This form allows all of the following to be issued as one permit. For non-residential check which permits are requested. All following pages contain details needed for construction.

Permit Type:

Water Utility Connection (see page 3). Check appropriate box below.

- Requested Meter Size (Typical Residential is 3/4") _____

Connect to existing water service connection

New Water Service Installation (new meter box)

Sewer Utility Connection (see page 3). Check appropriate box below.

Connect to Existing Sewer Lateral

New Connect to Private Sewer Line

New Connection to Public Line (Millersburg Inspection Required)

Right-of-Way* (see page 4 for requirements)

Grading* (see page 5 for requirements)

Street Tree Planting* (see page 5 for requirements)

Erosion Prevention and Sediment Control (EPSC) – Minor (separate permit required)**

*Separate permit not required for single family home with building permit, work must comply with standards listed herein.

**For projects disturbing less than 1 acre. An Erosion and Sediment Control Permit (EPSC) – Major is required for projects disturbing 1 acre or greater.

For City of Albany Use:

Signatures

Applicant Signature**: _____ (Also see last page)

Owner Signature (if applicable)**: _____

Received By: _____

*See page 3, 1.b

**By signing I agree to the submittal requirements found within this packet, and I affirm that the information given is true, complete, and accurate.

Utility Connection Submittal Requirements

1. Water

All water services serving a residence or commercial operation with an in-ground irrigation system or well on site are required to have an approved backflow device installed and tested upon initial installation as well as tested annually. Test reports to be submitted to Public Works Operations, 310 Waverly Drive NE, Albany OR 97321 (541) 917-7628.

 - a. EXISTING WATER SERVICE CONNECTION: A connection to an existing water service requires a Utility Connection Permit and a Plumbing Permit.
 - b. NEW WATER SERVICE INSTALLATION: A new water service installation requiring a tap into an existing Municipal Water System line requires a Utility Connection permit. Work on the public water system will be performed by the City at the owner's expense. Water service installation fees are in addition to SDC fees and are assigned to the applicant at cost of the work done.
 - The applicant is responsible for placing a stake (blue) clearly marking the desired meter location, and understands that a separate plumbing permit is required for plumbing work and backflow device installation on property between meter and house/facility. Plumbing work is to be done in accordance with all applicable codes.
2. Sewer
 - a. EXISTING SEWER LATERAL CONNECTION: A connection to an existing sewer lateral that is an extension of the Municipal Sewer System requires a Utility Connection Permit and a Plumbing Permit.
 - b. NEW SEWER LATERAL ON PUBLIC LINE: A tap into an existing Municipal Sewer System line requires a Utility Connection Permit. The applicant is required to secure a qualified and bonded contractor to perform the work. All associated construction costs are in addition to SDC fees, and are the responsibility of the applicant. An inspection by Millersburg City staff is required.
 - c. NEW SEWER LATERAL ON PRIVATE LINE: A tap into an existing private sewer line that is connected to the Municipal Sewer System requires a Utility Connection Permit and a Plumbing Permit.
3. Building or Plumbing Permit Applications for private lines shall be obtained at the Millersburg City Hall prior to any construction work. Inspections are provided by the Linn County Building Department.
4. Generally, water lines on the customer's side of the meter are considered private and sewer lines on the customer's side of the property line (cleanout) are considered private.
5. All construction on the public utility system shall conform to the City of Albany Standard Construction Specifications.
6. The applicant's contractor is solely responsible for conditions of the jobsite, including safety of all persons and property during performance of the work, and after normal working hours, until the work is completed and accepted by the City of Millersburg. Safety provisions shall conform to OSHA and all other applicable regulatory agency requirements. Inspection of the work by City of Millersburg staff does not include review or approval of the Contractor's safety measures.
7. The applicant must comply with state, federal, and local law. The issuance of this permit by the City of Millersburg does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.
8. This permit authorization is valid for one year from the date of application.

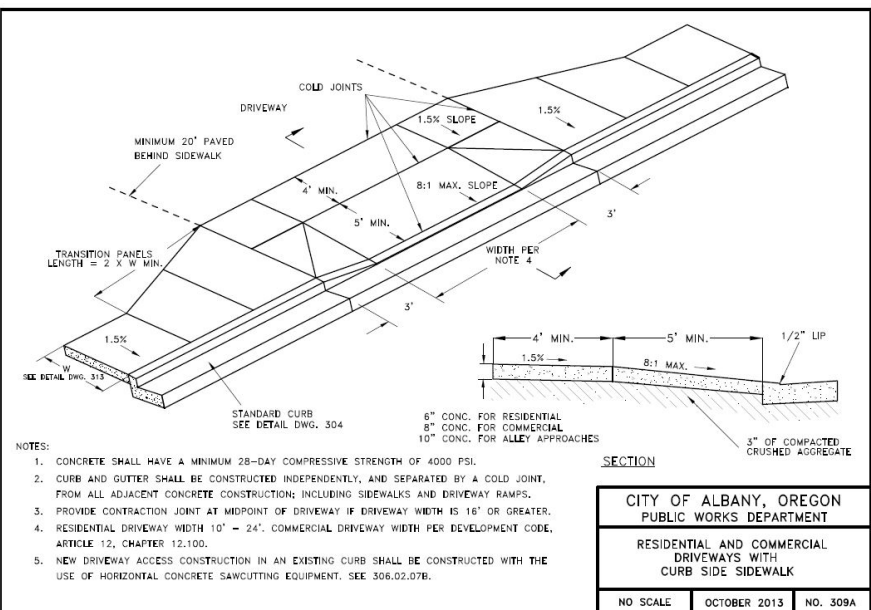
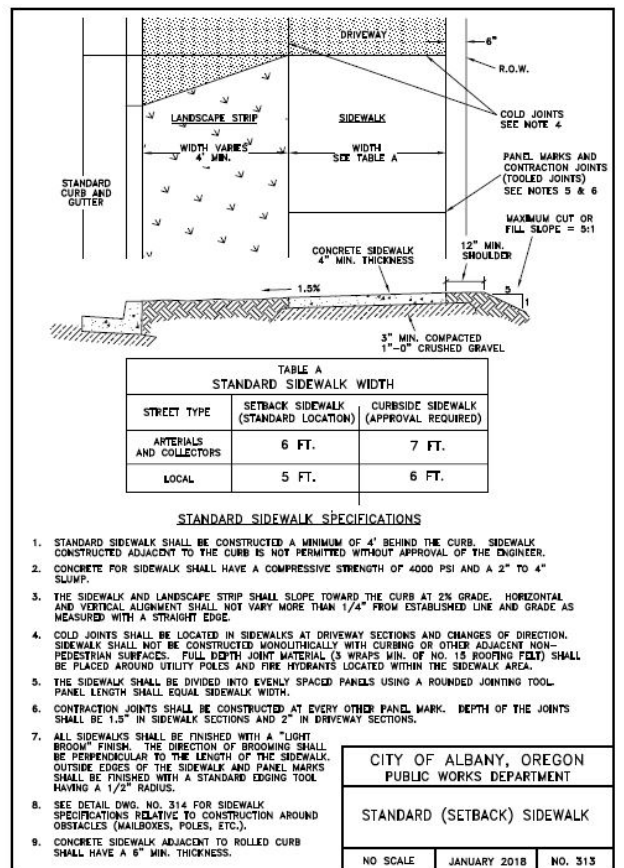
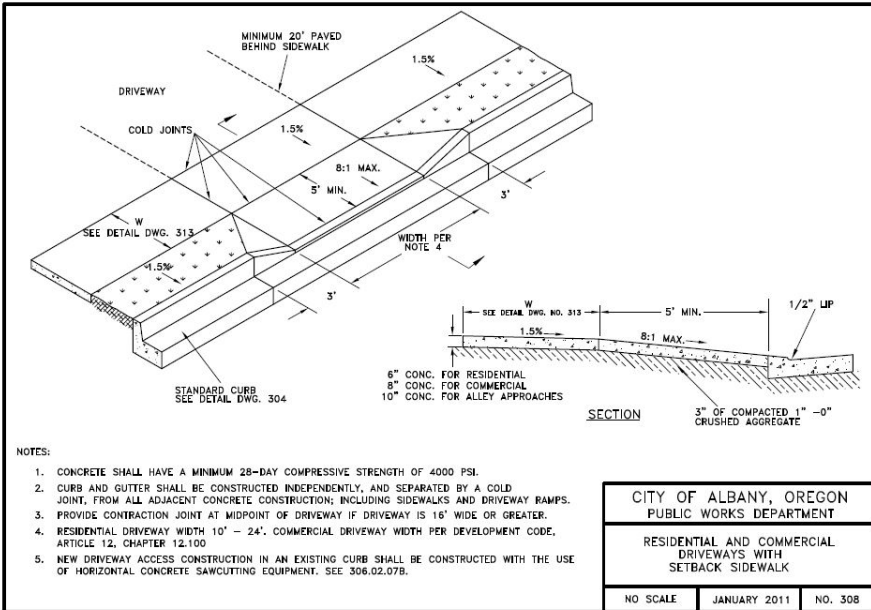
Right-of-Way Requirements

All work within the public right-of-way must be performed by a contractor licensed in the State of Oregon and shall be performed according to the most current version of the City of Albany Standard Construction Specifications (Standard Specifications).

Sidewalk and driveway construction, including concrete thickness, must conform to City of Albany Standard Details No. 308, 309A, and 313, as applicable (attached). Driveways cannot be more than 15% grade based on City code requirements.

If existing curb is to be removed, it shall be removed using horizontal concrete sawcutting. Sawcutting shall extend full depth through the curb and shall result in a smooth top face. Sawn edges shall be ground to a rounded edge.

Vertical cuts through curbs are not allowed. If additional weepholes in curbs are required, they must be core-drilled.



Grading Requirements

Cut slopes shall not exceed one and one-half feet horizontally to one foot vertically unless otherwise approved.

Fill slopes shall not exceed two feet horizontally to one foot vertically unless otherwise approved.

The type and characteristics of importing fill soils shall be of the same or of a constituency compatible with existing site soils.

All sites shall be graded to direct stormwater to City storm sewers, natural drainage ways or to another approved location. Existing drainage pathways shall be maintained.

All erosion controls must be installed in accordance with Erosion Prevention and Sediment Control (EPSC) permit prior to earth moving activities. No sediment-laden materials shall be tracked onto City streets.

Erosion and Sediment Control Requirements

All projects disturbing 10,000 square feet or more of area are required to obtain an erosion and sediment control permit from the City of Millersburg. All new single-family homes are assumed to disturb a minimum of the entire lot area or 10,000 sf, whichever is less.

Street Tree Requirements

Street tree(s) must be in accordance with City approved street tree list (see attached). This list includes species that have been determined to be appropriate for planting for indicated conditions and does not guarantee there will be no future impacts to sidewalks or utility lines from trees included on the list. Approval of this permit does not relieve the property owner of liability or responsibility for ongoing maintenance of sidewalks. Maintenance of street trees for clearance over streets and sidewalks is the property owner's ongoing responsibility.

Note: If it has been determined by the City that a street tree is not compliance with the City Municipal Code it may be required to be removed.

Tree(s) must comply with spacing requirements from utilities, which is typically 10 feet from water and sewer lines. Spacing requirement from streetlights as well as sight clearances for intersections and traffic control signage must also be met. Sight clearance requirements can be found in the City Development Code.

Final City Inspection for Certificate of Occupancy

Call at least 48 hours prior to requested inspection. City will not notify County to release Certificate of Occupancy until inspection has been passed. It is unlawful to occupy the house (move in) prior to the issuance of the certificate of occupancy. **Any such action may result in fines from the City.**

For single family homes, City inspector will check all items provided on the attached checklist. The following summarizes items for completeness, condition of work, and compliance with City standards:

- Curbs and gutters
- Sidewalks
- Sight clearance (if applicable)
- Landscape planter strip landscaping, including street trees (if applicable)
- Front yard landscaping. NOTE: At least one street tree is required, but a **second tree is also required** in the front yard or in the planter strip.
- Backflow device (if applicable)
- Water meter and vault
- Public sewer cleanout
- Lot grading and drainage
- Building elevation inspection- **Completed elevations must match the approved building permit elevations**

- EPSC Permit closed or transferred to new owner

Commercial or industrial final inspections are similar to list shown above, but may include other items, including but not limited to, inspections for any improvements required by conditions of approval, landscape inspections, and public facilities. Contact City staff with any questions.



Single Family Home (and Manufactured Home) Building Permit Checklist

In addition to all County requirements, the City of Millersburg has specific standards and requirements for single family and manufactured homes. These include specific façade design standards. **All building elevations submitted with the building permit applications are binding** and all design features shown must be constructed with the home as shown on the building elevations. Staff uses the building elevations to assure that the plans conform to the design requirements found in Millersburg Development Code Section 3.12.020.

Below is a checklist of standards required for homes in Millersburg.

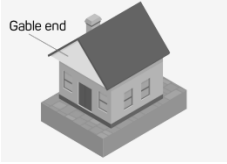
The Application must include				
	1	Application- Signed		
	2	Roof/Truss Calculations		
	3	Sets of Plans		
	3	Site plans		
Setbacks				
	Zone			App
	R M	R U	RL	
	Front: 10'	Front: 20'	Front: 15'	
	Rear: 15'	Rear: 20'	Rear: 20'	
	Garage: 25'	Garage: 25'	Garage: 25'	
	Side: 1 Story - 5' 2 Story- 8'	Side: 15'	Side: 5' 1 Story - 5' 2 Story- 8'	
	Street side: 10'	Street side: 20'	Street side: 15'	
Other Standards				
Driveway is shown and has a max width of 24' (unless other standards are met)				
Lot coverage calculations are shown on site plan (less than 50% for RU/RL and 60% for RM)				
Utility Lines are shown on site plan				
Grading/slopes/drainage are shown on site plan				
Building height is under the maximum of 35'				
Site plan foot print matches the floor plans				
See Opposite Page for more				
Design Requirements (3.12.020)				
				App
All Eves are at least 12" projection				
Minimum 2 car garage is included (manufactured homes too)				
Garage is not more than 65% of the façade width				
Trim is at least 4" wide on windows and doors				

Garages up to 50% of the façade shall meet at least 4 of the standards below, garages more than 50% of the façade must meet at least 5
Circle all that apply

Dormers



Gables



Recessed entries (2' min)



Cupolas



Pillars or posts



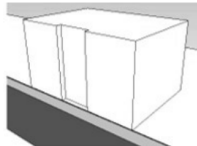
Bay/Bow windows



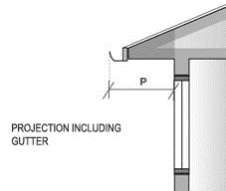
Covered porch entry



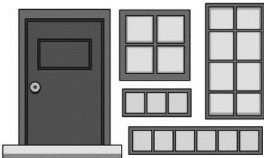
Off-set on building face or roof (minimum 16")



Eaves **OVER** 12"



Windows & Doors at least 15% of façade (not roof or gable)



Stone, Brick or similar on facade



Two garage doors instead of one



Third garage door offset (min 2')



Decorative roofline elements (brackets)



Ext chimney is stone, brick or masonry



Tower



Lintel, arch, decorative



Variation in wall cladding (not accents but larger variation)



Common Name / Scientific Name / Cultivar	Height (feet) / Width (feet)	Planting Strip			Overhead Utility Wires ²	For Use in Stormwater Quality	Comments
		6'+	6'-5'	4-5'			
Amur maackia / <i>Maackia amurensis</i>	25 / 20	✓	✓		OK		Hardy tree, upright vase, white flower clusters
Box elder / <i>Acer negundo</i> / Flamingo	20 / 15	✓	✓	✓	OK		Male selection only, short lived
Cascara / <i>Rhamnus purshiana</i>	30 / 12	✓	✓	✓	NR	OK	Native: small green cup-shaped flowers, black cherry-like fruit
Cherry / <i>Prunus serrulata</i> / Royal Burgundy	20 / 15	✓	✓	✓	OK		Red-purplish foliage, pink flower
<i>Prunus x yeodensis</i> / Cascade Snow	25 / 20	✓	✓		OK		White flowers, upright growth, very disease resistant
<i>Prunus sargentii</i> 'JFS-KW58' / Pink Flair	25 / 15	✓	✓	✓	OK		Pink flower clusters, orange-red fall color, upright narrow vase-shaped growth form
Crabapple, Flowering / <i>Malus</i> sp. / Adirondack	18 / 10	✓	✓	✓	OK		Good columnar variety, very good disease resistance
Centurion	20 / 15	✓	✓	✓	OK		Good disease resistance; Red flowers, upright growth
Purple Prince	20 / 20	✓	✓		OK		Purple foliage becoming bronze green; rose red flowers
Prairifire	20 / 20	✓	✓		OK		Very pink flowers, red fruit
Red Jewel	15 / 12	✓	✓	✓	OK		Very red persistent fruit, white flowers
Sugar Tyme	15 / 15	✓	✓	✓	OK		Good disease resistance, white flowers
Dogwood, Kousa / <i>Cornus kousa</i> / Many cultivars	20 / 20	✓	✓		OK		Low branching, the kousa hybrid selections are the best choices, Constellation, Aurora, and Stellar Pink. All are resistant to anthracnose.
Goldenrain / <i>Koelreuteria paniculata</i>	30 / 30	✓			NR	OK	Beautiful yellow flowering tree, very adaptable
<i>Fastigata</i>	25 / 10	✓	✓	✓	OK		Columnar, yellow fall color, flowers bright yellow in large clusters
<i>Summerburst</i>	30 / 30	✓			NR		Unique lantern-like seed capsules
Hawthorn, Paul's Scarlet / <i>Crateagus laevigata</i> / 'Paul's Scarlet'	25 / 20	✓	✓		OK		Scarlet double flower; susceptible to rust and leaf spot
Hornbeam, American / <i>Carpinus caroliniana</i>	25 / 20	✓	✓		OK		Difficult to transplant, dig in spring; does not tolerate compaction
Lilac tree / <i>Syringa reticulata</i> / several cultivars	20 / 15	✓	✓	✓	OK		Upright spreading to oval, white flower clusters
Magnolia hybrid / <i>Magnolia hybrids</i> / Galaxy	30 / 15	✓	✓	✓	NR		A bit messy when flowers drop off
Merril	25 / 25	✓	✓		OK		Yellow fall color, large white flower
Maple / <i>Acer buergeranum</i> / Trident	25 / 20	✓	✓		OK		Lovely fall color; must train to single stem
<i>Acer campestre</i> / Hedge	30 / 30	✓			NR	OK	A tough tree with corky bark

Common Name / Scientific Name / Cultivar	Height (feet) / Width (feet)	Planting Strip			Overhead Utility Wires ²	For Use in Stormwater Quality	Comments
		6' +	6'-5'	4-5'			
<i>Acer ginnala</i> / Flame	20 / 20	✓	✓		OK		Fragrant flowers great fall color; very adaptable; prolific seeds; multi-stemmed
<i>Acer griseum</i> / Paperbark	25 / 20	✓	✓		OK		All year interest tree; good urban tolerance
Maple, Hybrid / <i>Acer truncatum</i> x <i>A. platanoides</i> / Pacific Sunset	30 / 25	✓	✓		NR		Yellow orange to bright red fall color; resistant to Japanese beetle
Persian Parrotia / <i>Parrotia persica</i>	30 / 20	✓	✓		NR	OK	Excellent, many fine attributes... bark, fall color; specify tree form
Vanessa	28 / 14	✓	✓	✓	NR		Upright, tightly vase shaped; fall color is orange-red
Pistachio, Chinese / <i>Pistacia chinensis</i>	30 / 25	✓	✓		NR		A very good urban tree, although hard to find
Redbud, Eastern / <i>Cercis canadensis</i> / several cultivars	25 / 30	✓			OK		Beautiful small flowering tree, but can experience a lot of branch breakage, die back, and is susceptible to Verticillium
Serviceberry / <i>Amelanchier laevis</i> / Snowcloud	28 / 15	✓	✓	✓	NR		Upright, oval good tree form, small berries
<i>Amelanchier laevis</i> 'JFS-Arb' / Spring flurry	28 / 20	✓	✓		NR		Upright, oval form, white clustered flowers, orange fall colors, small purple berries
<i>Amelanchier</i> x <i>grandiflora</i> / Autumn Brilliance	25 / 15	✓	✓	✓	OK		Upright, white clustered flowers bright red fall color, small purple berries
Sourwood / <i>Oxydendrum arboreum</i>	20 / 15	✓	✓	✓	OK		Temperamental tree, difficult to establish
Stewartia, Japanese / <i>Stewartia pseudocamellia</i>	30 / 20	✓	✓		NR		Great tree with white camellia-like flowers and red fall color
Snowbell, Japanese / <i>Styrax japonica</i> / Snowcone	25 / 20	✓	✓		OK		White bell-shaped flowers, yellow fall color, pyramidal growth form
Pink Chimes	15 / 15	✓	✓	✓	OK		Pink flowers; smaller cultivar
Yellowwood / <i>Cladrastis kentukea</i> / cultivars rare	30 / 40	✓			NR		White and fragrant flowers
Zelkova / <i>Zelkova serrata</i> 'JFS-KW1' / City Sprite	24 / 18	✓	✓		OK		Compact oval to vase, yellow fall color

Sources:

1. Oregon State University, Dept. of Horticulture. Landscape Plants: Images, Identification, and Information. Copyright 1999-2015. <http://oregonstate.edu/dept/ldplants/1plants.htm#amen>
2. The City of Portland, Approved Street Tree Planting Lists. <http://www.portlandoregon.gov/trees/66682>
3. J. Frank Schmidt & Son Co. Nursery, Boring Oregon. <http://www.jfschmidt.com/>