



**City of Millersburg  
DECISION**

**June 6, 2025**

**File No: SP 25-01 Construction Equipment Storage**

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**Summary:** On May 23, 2025 the notice of tentative decision was mailed to all property owners within 100 feet of the project site, and provided to all public agencies that would have any future involvement with the project. Pursuant to the recently revised regulations regarding the processing of Site Development Reviews, Staff has reviewed the project and approves SP 25-01, Site Development Review for a construction storage yard ancillary to an existing office building with the conditions of approval listed in this Decision document. Staff found that all criteria and standards were met based on the accepted facts and the conditions of approval. Staff relied on facts from the tentative decision, the applicant's materials, the City's Comprehensive Plan, Codes, and Ordinances as provisions for the basis of the decision. Comments were received by the City Engineer and the Albany Fire Department. Some conditions of approval were revised in light of these comments.

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Matt Straite  
Community Development Director

**Proposal:** The applicant is proposing to locate a construction equipment storage yard on property that already contains an office building for the construction business. The yard will be about 1.5 acres.

**I. BACKGROUND**

- A. Applicant: Ron Reimers
- B. Location: 3939 NE Old Salem Road
- C. Review Type: The proposed Site Development Review, pursuant to the Development Code Chapter 5.05, requires a Type II permit. A Type II permit is a staff level, quasi-judicial review, and does not require a hearing. A public 14-day notice is required to all neighbors within 100 feet of the project property.
- D. Public Notice: Notice has been provided pursuant to Chapter 5.05 and 5.18 of the Millersburg Development Code. Notice was provided to all neighbors within 100 feet on May 23, 2025 and all responsible agencies on May 21, 2025. The notice provided 14 days to respond.
- E. Review Criteria: Chapter 5.05.060 Site Development Review Criteria

F. Current Zoning: General Commercial (GC)

G. Proposed Zoning: N/A

H. Property Size: 4.37 acres

I. Background: The property was recently partitioned into two parcels (PA 23-01). The newly created parcel is planned to feature a sales office and warehouse for a solar company (SP 23-01). The parent parcel features an 11,950 sq ft office building that was approved by the City in 1998 (SP98-01). The approved plans do not show, or permit, any equipment storage. Sometime after the building was constructed the area to the east of the building was used for outdoor construction equipment storage, the City shows no records of this being a permitted use. The new solar building is now being constructed in the area that has been used for outdoor storage. The owner is now requesting that the storage be re-located onto another vacant part of the property. Because the City has no record of the storage use being permitted, it is being treated as an all new proposal. The Development code allows for construction equipment storage in the GC Zone, pursuant to the approval of a Site Development Review Permit, as long as specific development standards are met. These are discussed in more detail below.

## **II. AFFECTED AGENCY, PUBLIC NOTICE, AND PUBLIC COMMENTS**

### Agencies:

The project was transmitted to the following agencies/departments on May 21, 2025: City of Albany, Albany Fire Department, City of Millersburg Engineer, Pacific Power, Linn County Planning and Building Department, Northwest Natural Gas, and PacifiCorp. Any comments received will be addressed in the final decision. Two agencies responded, their letters are attached:

- Albany Fire Department, dated June 5, 2025
- Millersburg City Engineer, dated June 6, 2025

### Public:

Notice of this tentative decision was sent out to neighbors of the site on May 23, 2025. The notice was mailed to all property owners within 100 feet of the property. No comments from the neighbors were received.

## **III. CRITERION**

### **CITY OF MILLERSBURG DEVELOPMENT CODE**

The applicable criterion are from Code Section 5.05.060. All analysis and findings below are in addition to those provided by the applicant, which are included by reference.

**The review of a site plan shall be based upon the following criteria that are applicable to the proposed development:**

- (1) The proposed use is allowed in the zone and complies with the underlying zone development standards.**



**ANALYSIS:** The project is in the General Commercial Zone (GC). The permitted uses are listed in the Millersburg Development Code Section 2.08.020. A construction business is listed as permitted by number (9). The Reimers Construction business has long had an office in the existing office building. Storage yards are not specifically listed as a permitted use; however, Section 2.08.060 lists the development standards for the GC Zone. Subsection (6) specifically states that outdoor storage is permitted if the storage use is ancillary to the primary use and screened. Because Reimers Construction has an office in a building on the same parcel, the storage is a permitted use. The submitted site development review materials show that the applicant is planning to use site-obscuring chain-link fencing to screen the yard from any public view areas. With this, the use meets the standards listed for outdoor storage, and the use is thereby permitted (pursuant to this Site Development Review).

The GC Zone also includes dimensional standards. These mostly apply to setbacks for structures. The application is not proposing any structures, only outdoor storage, as such most of these standards do not apply.

**FINDINGS:** The proposal is listed as a permitted use and meets the standards for the Zone.

- (2) The proposed use will not create negative impacts on the surrounding area resulting from traffic flow, noise, dust, glare, odor, potential incompatible adjacent uses such as parking lots, or other impacts identified in the public hearing process.**

**ANALYSIS:** The application materials show that the area will be graveled prior to use. This will address any dust concerns. There are no residential areas near the site, so noise will not be a concern. The applicant has had an unpermitted storage yard on the property for several years without any of the concerns from the categories listed in this criteria. The new yard is about the same size and almost in the same location. No impacts are expected.

**FINDINGS:** The proposed use satisfies the criteria for the reasons listed above.

- (3) Provisions shall be made to address impacts and conform to all development standards in this Code. The City may impose conditions of approval intended to mitigate potential impacts. Potential impacts include, but are not limited to:**

- a. Connection to, or ability to provide, adequate utilities including water, sewer, surface water drainage, power and communications, including easements, to properly serve development on the subject property in accordance with city standards.**

**ANALYSIS:** The proposed storage use does not require any utilities of any kind. Fire hydrants exist near the site to provide adequate fire protection. The storage use does not require water or sewer connections. No power is needed as lighting is not proposed. The project will be required to provide drainage. Due to the nature of the use a drainage study is not required. The storage use

is ancillary to the existing office structure. The project is proposing to make the 1.5-acre site impervious. As such, a condition of approval has been added to require a stormwater permit and to have all drainage route through existing basins. This may be revised once comments from the Engineering department have been received.

*Added:* The Albany Fire department provided additional information on access needs for Fire apparatus in their letter dated June 5, 2025. Conditions of approval have been added.

**FINDINGS:** With conditions of approval, the proposed use satisfies the criteria for the reasons listed above.

- b. Provisions have been made to provide adequate parking design, traffic safety, and connectivity of internal circulation to existing and proposed streets, neighboring projects when appropriate, connecting bikeways, and pedestrian facilities.**

**ANALYSIS:** The use is not open to the public, the vehicles and equipment in the yard will just be stored. There is no requirement to have these adhere to any parking requirements. The yard will be located on the same parcel as other office uses, and adjacent to the approved (soon to be constructed) Pure Energy Solar building to the south of the proposed storage yard. While connectivity is not critical for a private storage yard, the project will feature gates into the yard that are accessible from the office building Parking area, which is also connected to the parking area for Pure Energy. The criteria specifically states that connections to sidewalks and bike paths are required when appropriate. For this project, such connections would not be appropriate. There is no public access and no staff.

**FINDINGS:** The proposed use satisfies the criteria for the reasons listed above.

- c. Provision of necessary improvements to streets, including the dedication of additional rights-of-way to the city and/or the improvement of traffic facilities to accommodate access for emergency vehicles, safety, and the additional traffic load generated by the proposed development of the site.**

**ANALYSIS:** All required street dedications and improvements were completed as part of the recent partition. No additional dedication or improvements are required. It should be noted that the two streets fronting the site are NE Old Salem Road and NE Conser Road to the north; both are Linn County roads. The project was transmitted to the County for review and comment.

*Added:* Also see attached Albany Fire comments.

**FINDINGS:** The proposed use satisfies the criteria for the reasons listed above.

**d. Provision for landscaping and/or visual buffering from non-compatible uses.**

**ANALYSIS:** The project is proposing a 6-foot fence with slats to be used as screening. The property is surrounded by non-residential uses, though it is in an area that has been planned as the Commercial Center for the City. Because the use is not building any permanent structures that are not compatible with the City Commercial Center concept, the use is not considered incompatible with the current conditions.

**FINDINGS:** The proposed use satisfies the criteria for the reasons listed above.

**e. Provisions for protections from any potential hazards.**

**ANALYSIS:** The proposed use is a storage yard for construction equipment, they will not be producing anything on the property. The site is not located within or near any floodplains or faults.

**FINDINGS:** The proposed use satisfies the criteria for the reasons listed above.

**f. Provisions for lighting sufficient to satisfy the intended use of the property but designed in such a manner as to not present an adverse impact (as measured by light trespass) upon adjacent land uses or traffic movements.**

**ANALYSIS:** The proposed use is a storage yard, as such, no lighting is needed or required. The applicant has not shown any proposed lighting on the plans. The property is also not near any residential areas, so even if lighting were to be used, it should not present any compatibility concerns.

**FINDINGS:** The proposed use satisfies the criteria for the reasons listed above.

**g. The application complies with all applicable Design Standards.**

**ANALYSIS:** This Millersburg Development Code does not contain design standards for all uses, they are primarily for homes and commercial businesses. While this project is located in a commercial zone, the project proposes no structures of any kind.

**FINDINGS:** This criteria does not apply to this project.

#### **IV. STANDARDS**

The proposed design complies with all the specifications and design requirements of Chapter 2, specifically the GC zone setbacks and siting requirements, and Chapter 3 General Provisions. The following analysis is a summary of only applicable standards or items that required additional explanation and/or additional conditions of approval to show clear consistency. Again, these are in addition to those contained in the applicant's narrative, which is incorporated here by reference.

#### **Section 3.01.030      Application of Public Facility Standards**

- (1) Application.** The standards set fourth in this article shall apply to partitions, subdivisions, developments, commercial and industrial projects, singe family dwellings, duplexes, and multi-family dwellings.

**ANALYSIS:** The project is a development, though no structures are proposed. The project will not require the use of any public facilities. All facilities are present on the site because there is an existing office building on the site as well. No new or expanded public facilities are required because of the nature of the proposed project.

**FINDING:** Based on the analysis above, the project meets the standard.

#### **Section 3.02.040      Access Standards**

**ANALYSIS:** The site has access and all street improvements have already been made. The site fronts two streets, existing driveways exits for the use.

*Added:* The Albany Fire Department provided a comment letter dated June 5, 2025, that requested some additional clarity regarding easements and access to the site. Conditions of approval have been added.

**FINDING:** Based on the analysis above, with conditions of approval, the project meets the standard.

#### **Section 3.04      Storm Drainage and Grading**

**ANALYSIS:** All development in the City is required to provide for storm drainage. A storage yard is considered development. The applicant did not provide details regarding drainage. A condition of approval has been added that will address how the drainage on the site will be required to operate. This project has been transmitted to the City Engineer for review. At the time the staff report was drafted no comments had been received.

*Added:* The Millersburg City Engineer provided a comment letter dated June 6, 2025. The letter requested conditions of approval that were very similar to those listed previously in the Tentative Decision. The wording of the conditions have been

revised to reflect those provided by Engineering, but the requirements were the same.

**FINDING:** Based on the analysis above, with conditions of approval, the project meets the standard.

**CONDITIONS OF APPROVAL:**

- Obtain if required by DEQ, a 1200-C Erosion Control Permit for disturbed area great than one acre. A copy of the 1200-C and a City of Millersburg Erosion Prevention and Sediment Control Permit for disturbed area greater than 1 acre are required prior to beginning of construction.
- Stormwater quality facilities shall be designed and constructed in accordance with the City of Millersburg Engineering Standards. Prior to beginning of construction, private stormwater quality facilities require a Post Construction Stormwater Quality Permit and the property owner to enter into a maintenance agreement with the City of Millersburg.
- A final grading and stormwater inspection will be required prior to issuance of a certificate of occupancy.

**Section 3.07.040 Fencing Requirements for Commercial and Industrial Zones**

- (1) **Industrial or commercial fencing installed adjacent to residential areas must be sight obscuring. Fences that do not exceed six feet in height may be located or maintained on any property line within this zone, except within the clear vision triangle area and along the frontage of presentation streets. Commercial or industrial fencing intended to be placed on Old Salem Road or Conser Road frontage is subject to design review.**
- (2) **Fences intended for security purposes may be installed to a height of eight feet on any property line within the commercial and industrial zones, except within vision triangle areas and along the frontage of presentation streets. Barbed wire may be used as the top section for security fences, provided the barbed wires are a minimum of 72-inches above grade and do not project over public rights-of-way.**
- (3) **Fencing placed along Old Salem Road or Conser Road is subject to site plan review.**

**ANALYSIS:** The site is not located adjacent to residential areas. All fences are planned to be under 6 feet in height, as noted on the applicant's plans. The fencing will be visible from NE Old Salem Road and NE Conser Road, both of which require site plan review (aka site development review). This staff report is for a site development review, therefore the project complies with this requirement. The applicant's materials explain that the fence will be site obscuring.

**FINDING:** Based on the analysis above, the project meets the standard.

### **3.07.060 Fences Required for Sight-Obscuring Purposes.**

- (1) Sight obscuring fences shall be constructed of an aluminum mesh fencing with slats or other solid non-vision-type fencing of such design and material that will retain its attractiveness with nominal maintenance.**
- (2) The following uses are declared to require sight obscuring fences: junkyards, wrecking yards, equipment or vehicle salvage storage yards, auction blocks, lumberyards, sanitary landfills, recycling collection stations and other uses determined to be similar in nature to the aforementioned as determined by the Planning Director or designee.**

**ANALYSIS:** The applicant's materials did not clarify what kind of site obscuring fence would be used. Conditions of approval have been added to comply. While the uses listed here do not specifically include an outdoor storage yard, because of the Zone the project is in, a sight obscuring fence is required by the Zone.

**FINDING:** Based on the analysis above, with conditions of approval, the project meets the standard.

#### **CONDITION OF APPROVAL:**

- All fencing shall comply with the provisions of Development Code Section 3.07.060, specifically, sight obscuring fences shall be constructed of an aluminum mesh fencing with slats or other solid non-vision-type fencing of such design and material that will retain its attractiveness with nominal maintenance.

## **V. ACTION**

Based on the above findings of fact, and the conditions of approval, the proposed project satisfies the applicable criteria and standards, and staff approves Site Development Review 25-01 (SP 25-01) subject to conditions of approval.

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## **VI. CONDITIONS OF APPROVAL**

### **General Conditions:**

- 1. This approval is valid for a period of two (2) years from the date of the decision notice.**  
Extensions may be granted by the City as afforded by the Millersburg Development Code. This period addresses the life of the approval prior to construction.
2. This land use approval shall substantially comply with the submitted preliminary plans

included as Exhibit A, except as indicated in the following conditions. Additional development or change of use may require a new development application and approval.

3. Copies of any required federal or state permits that may be required shall be filed in the Record File of this application.
4. This approval does not negate the need to obtain permits as appropriate from other local, state, or federal agencies, even if not specifically required by this decision.
5. All fencing shall comply with the provisions of Development Code Section 3.07.060, specifically, sight obscuring fences shall be constructed of an aluminum mesh fencing with slats or other solid non-vision-type fencing of such design and material that will retain its attractiveness with nominal maintenance.
6. Stormwater:
  - a. Obtain if required by DEQ, a 1200-C Erosion Control Permit for disturbed area great than one acre. A copy of the 1200-C and a City of Millersburg Erosion Prevention and Sediment Control Permit for disturbed area greater than 1 acre are required prior to beginning of construction.
  - b. Stormwater quality facilities shall be designed and constructed in accordance with the City of Millersburg Engineering Standards. Prior to beginning of construction, private stormwater quality facilities require a Post Construction Stormwater Quality Permit and the property owner to enter into a maintenance agreement with the City of Millersburg.
  - c. A final grading and stormwater inspection will be required prior to issuance of a certificate of occupancy.

**Prior to Grading:**

7. The applicant must obtain a City of Millersburg Erosion Control Permit prior to construction.
8. Prior to the issuance of a grading permit, the applicant shall provide evidence of clearance (email or a letter) indicating all requirements outlined in the Albany Fire Department letter dated June 5, 2025 have been met to the satisfaction of Albany Fire.
9. Stormwater:
  - a. Prior to beginning of construction obtain a 1200C Erosion Control Permit and a **City of Millersburg Erosion Prevention and Sediment Control Permit** for all the disturbed ground, both on and off site that is in excess of one acre. The applicant shall follow the latest requirements from DEQ for NPDES 1200-C Permit submittals.
  - b. Stormwater facilities shall be designed and constructed in accordance with the City of Millersburg Engineering Standards. Private stormwater quality facilities require the property owner to enter into a maintenance agreement. A grading permit is required for earthwork in excess of 50 cubic yards. All drainage shall channel through the stormwater systems already located on site.

### **Prior to the issuance of a building permit:**

10. Prior to the issuance of a building permit, the applicant shall provide evidence of clearance (email or a letter) indicating all requirements outlined in the Albany Fire Department letter dated June 5, 2025 have been met to the satisfaction of Albany Fire.

## **VII. NOTICES TO THE APPLICANT**

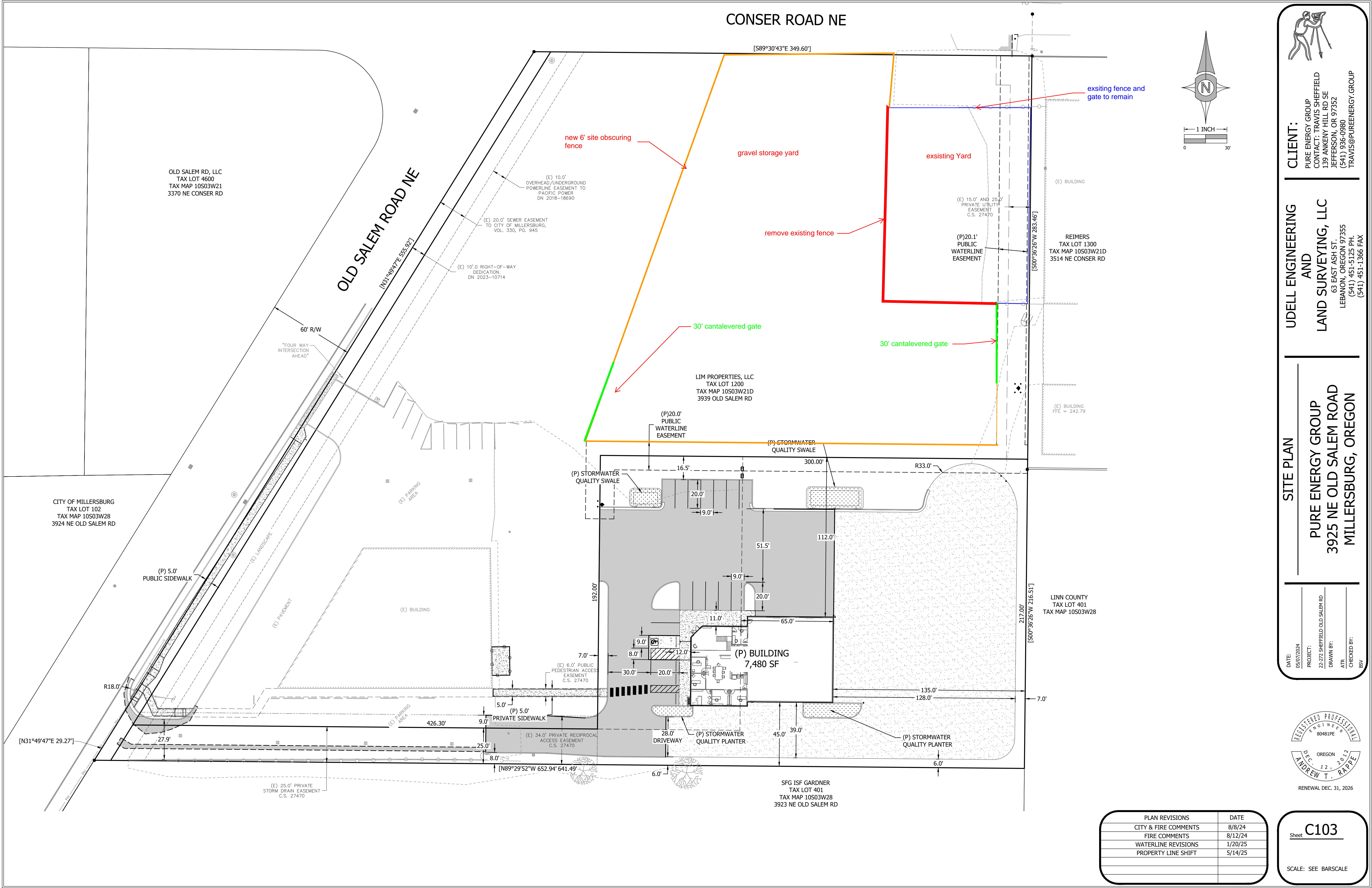
The applicant should also be aware of the following standards and processes that are required for development. These are not part of the decision on this land use case and are provided as a courtesy to the applicant. Please contact City Hall with any questions.

1. Compliance with the Conditions of Approval is the responsibility of the developer or its successor in interest.
2. Dust shall be controlled within the development during construction and shall not be permitted to drift onto adjacent properties.
3. The continual operation of the property shall comply with the applicable requirements of the Millersburg Development Code.
4. Noise shall be kept at the minimum level possible during construction. The developer shall agree to aggressively ensure that all vehicles working in the development shall have adequate and fully functioning sound suppression devices installed and maintained at all times.
5. All construction sites shall be maintained in a clean and sanitary condition at all times. Construction debris includes food and drink waste. All waste shall be contained on-site in proper containers or construction fencing enclosures and shall leave the construction site in proper disposal containers. Failure to comply with this condition may result in a "Stop Work" order until deficiencies have been corrected to the satisfaction of the City.

## **VIII. EXHIBITS**

- A. Applicant's Site and development plans
- B. Vicinity Map
- C. Zoning Map
- D. Albany Fire Letter dated June 5, 2025
- E. Millersburg City Engineer comment letter dated June 6, 2025





**CLIENT:**  
PURE ENERGY GROUP  
CONTACT: TRAVIS SHEFFIELD  
139 ANKENY HILL RD SE  
JEFFERSON, OR 97352  
(541) 936-0980  
TRAVIS@PUREENERGY.GROUP

**UDELL ENGINEERING AND LAND SURVEYING, LLC**  
63 EAST ASH ST.  
LEBANON, OREGON 97355  
(541) 451-5125 PH.  
(541) 451-1366 FAX

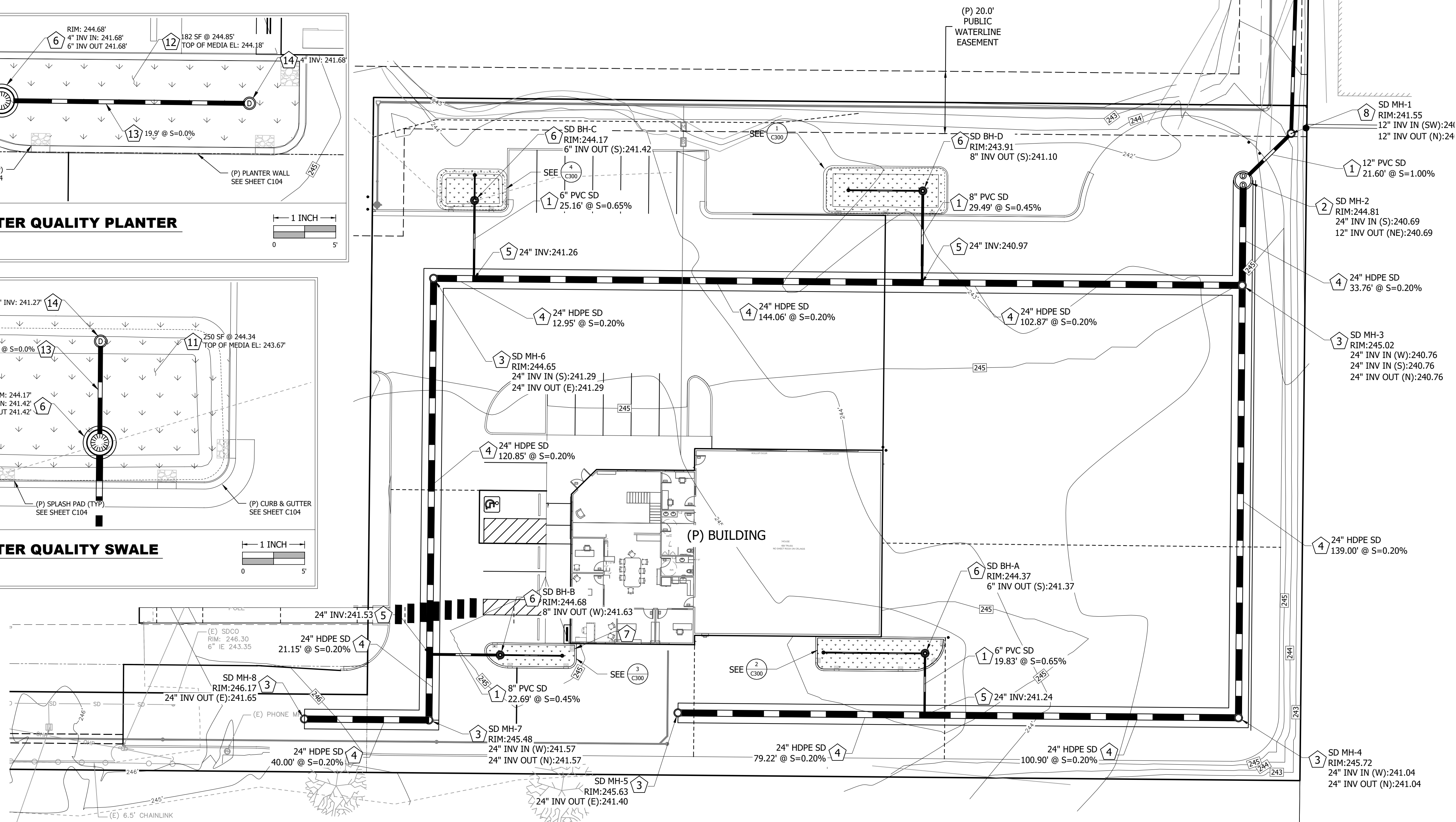
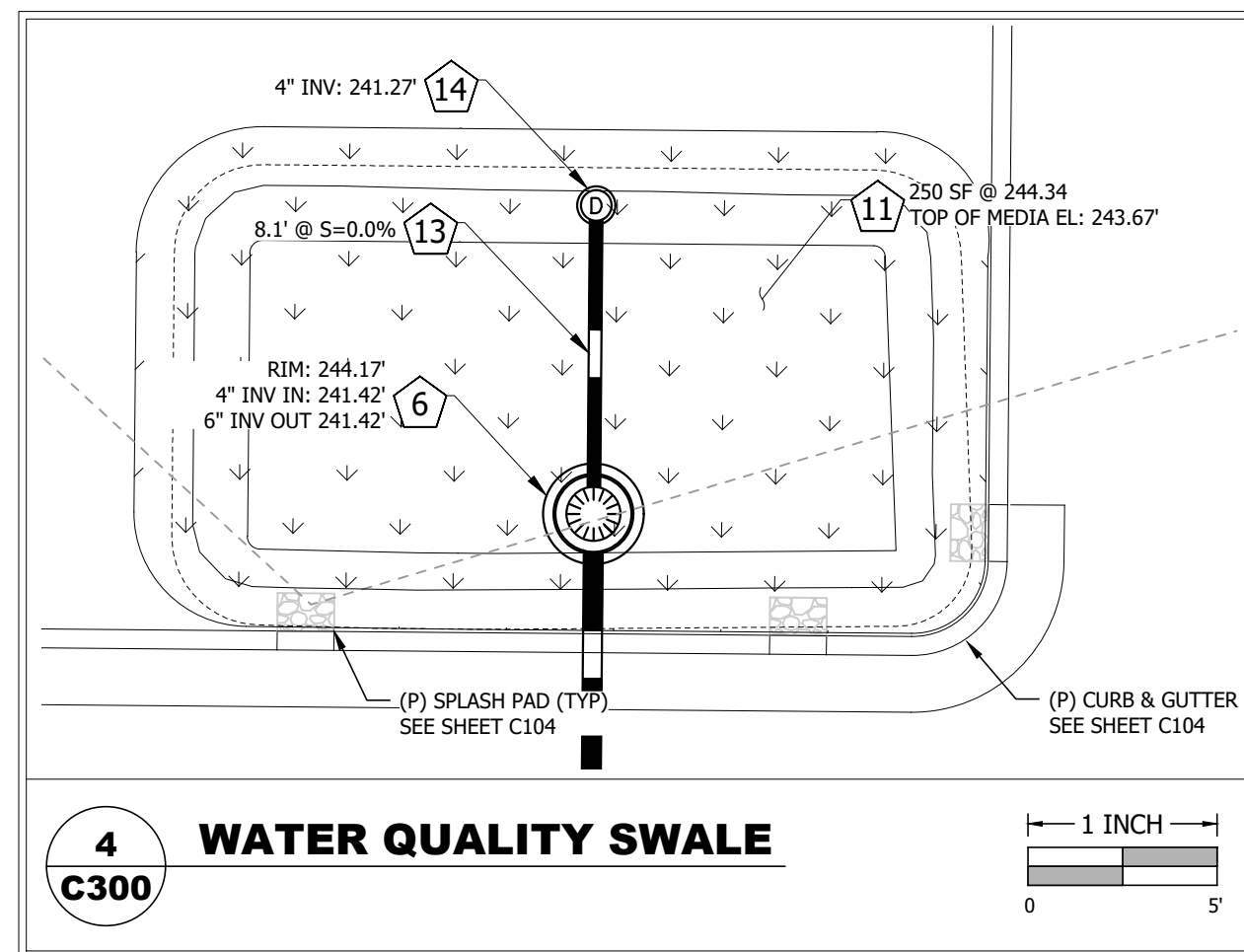
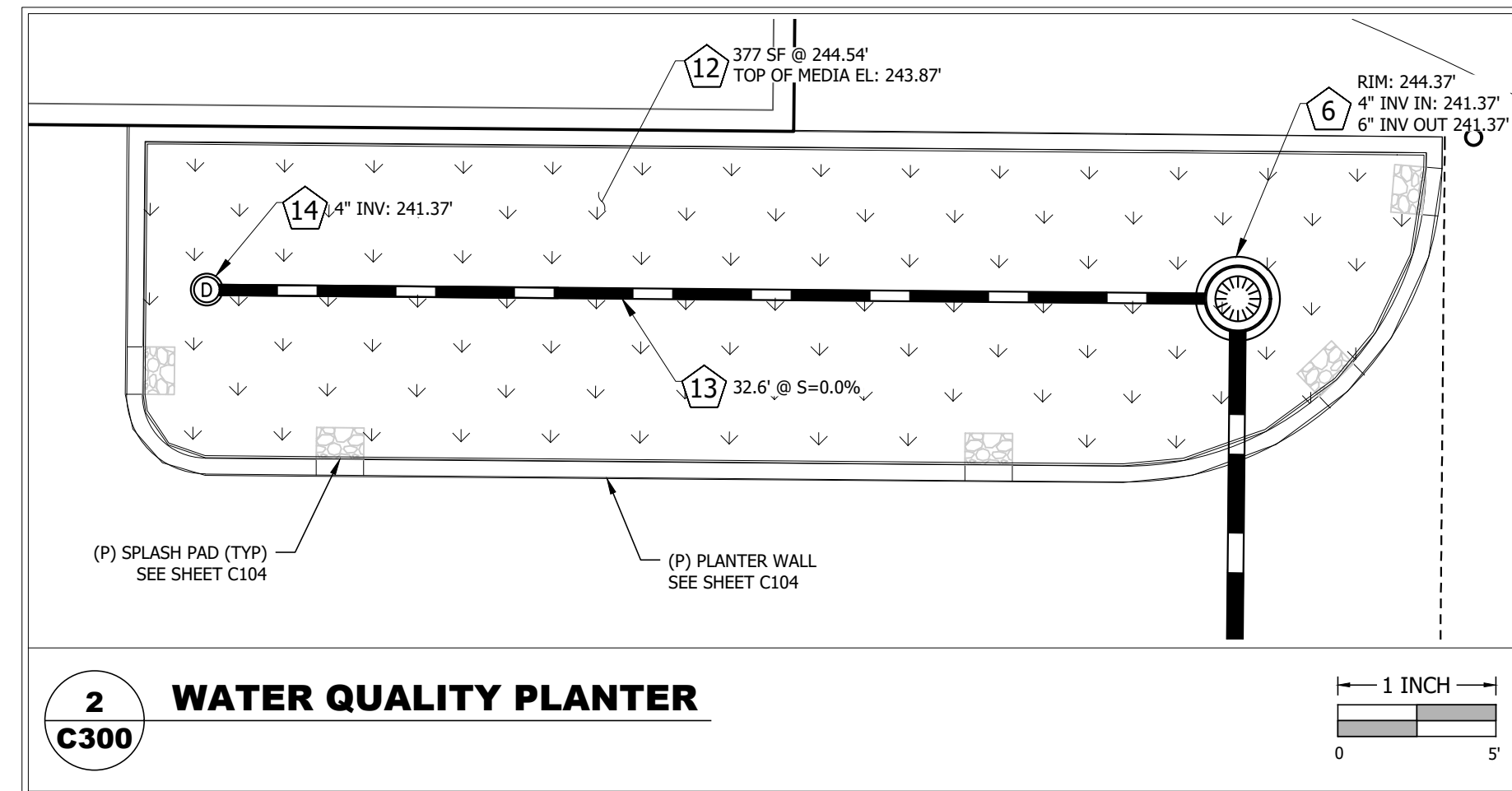
**SITE PLAN**  
PURE ENERGY GROUP  
3925 NE OLD SALEM ROAD  
MILLERSBURG, OREGON

DATE: 05/07/2024  
PROJECT: 22-272 SHEFFIELD OLD SALEM RD  
DRAWN BY: ATR  
CHECKED BY: RSV











PLAN REVISIONS	DATE
CITY & FIRE COMMENTS	8/8/24
FIRE COMMENTS	8/12/24
WATERLINE REVISIONS	1/20/25
PROPERTY LINE SHIFT	5/14/25

Sheet **C103**  
SCALE: SEE BARSCALE



**ATTENTION**  
CONTRACTOR SHALL POT HOLE EXISTING  
UTILITIES PRIOR TO BEGINNING CONSTRUCTION.  
REPORT FINDINGS TO ENGINEER.

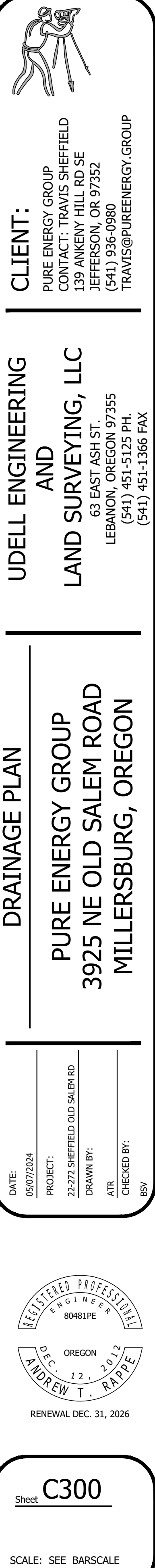
STORM DRAIN NOTES	
1	INSTALL PRIVATE PVC D-3034, SDR 35 STORM PIPE, SIZE PER PLAN, PER CURRENT STATE OF OREGON PLUMBING SPECIALTY CODE.
2	INSTALL PRIVATE 60" DIAMETER STORM FLOW CONTROL MANHOLE PER DETAIL 
3	INSTALL PRIVATE NYOPLAST 30" DIAMETER JUNCTION STRUCTURE WITH H-20 RATED SOLID LID. SEE DETAIL 
4	INSTALL 24" PRIVATE HDPE (ADS N-12) PERFORATED, SOIL-TIGHT JOINTED PIPE PER CURRENT STATE OF OREGON PLUMBING SPECIALTY CODE. SEE DETAIL 
5	INSTALL PRIVATE TEE (INSERT-TEE OR APPROVED EQUAL). MATCH THRU AND BRANCH PIPE DIAMETERS.
6	INSTALL PRIVATE BEEHIVE STYLE INLET PER DETAIL 
7	INSTALL ROOF DRAIN SPLASH PAD PER DETAIL. CONNECT TO ROOF DRAIN DOWNSPOUT PER DETAIL 
8	INSTALL PRIVATE 24" DIAMETER PRECAST CONCRETE MANHOLE PER DETAIL 
9	INSTALL 4" TO 6" OPEN GRADED RIP-RAP BLANKET FOR OUTFALL PROTECTION, MIN. 48"x48" SIZE UNLESS OTHERWISE SHOWN ON PLAN.
10	INSTALL 12" DUCTILE IRON (CL-52) STORM DRAIN PIPE WITH TRACER WIRE PER CURRENT STATE OF OREGON PLUMBING SPECIALTY CODE.
11	CONSTRUCT WATER QUALITY SWALE PER DETAIL REFER TO GRADING PLANS FOR ELEVATION AND GRADE 
12	CONSTRUCT WATER QUALITY PLANTER PER DETAIL. REFER TO GRADING PLANS FOR ELEVATION AND GRADE 
13	INSTALL 4" PRIVATE PVC PERFORATED STORM PIPE PER CURRENT STATE OF OREGON PLUMBING SPECIALTY CODE AND CITY OF ALBANY CONSTRUCTION SPECIFICATIONS.
14	INSTALL PRIVATE STORM CLEAN OUT PER CURRENT STATE OF OREGON PLUMBING SPECIALTY CODE. USE CAST IRON FRAME AND COVER IN TRAFFIC AREAS.

## GENERAL STORM DRAIN NOTES:

1. TRENCH BEDDING AND BACKFILL SHALL BE INSTALLED PER ALBANY STD DETAIL 205.
2. TRENCH PAVEMENT PATCHING AND RESTORATION SHALL BE PERFORMED PER ALBANY STD DETAIL 207.

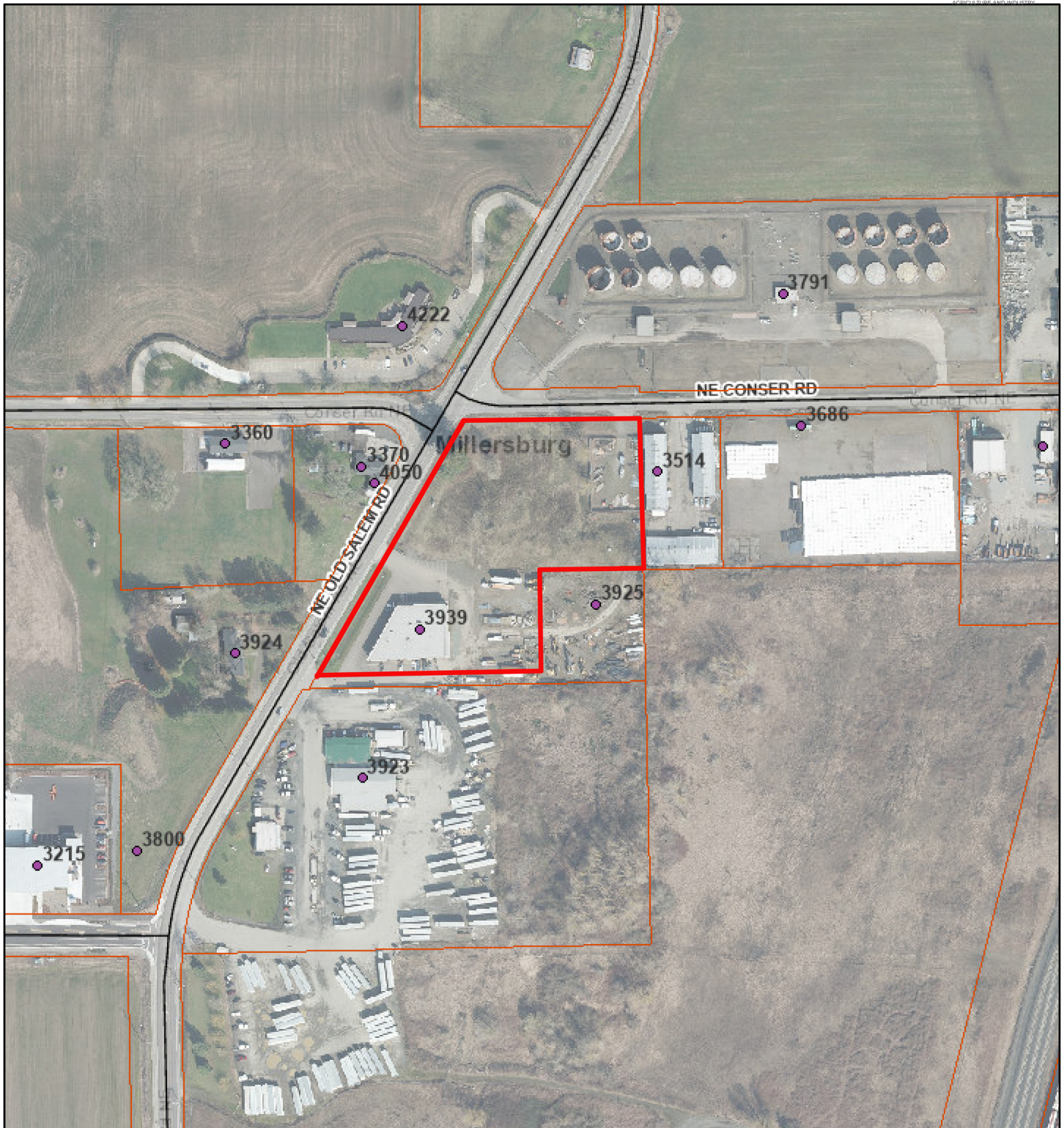
IMPERVIOUS NOTE:  
TOTAL PRIVATE IMPERVIOUS AREA =  
54,015 SF (1.240 AC)




PLAN REVISIONS	DATE
CITY & FIRE COMMENTS	8/8/24
FIRE COMMENTS	8/12/24
WATERLINE REVISIONS	1/20/25
PROPERTY LINE SHIFT	5/14/25

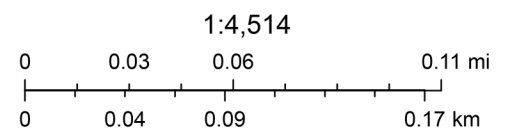




# SP 25-01 Storage Yard Vicinity Map

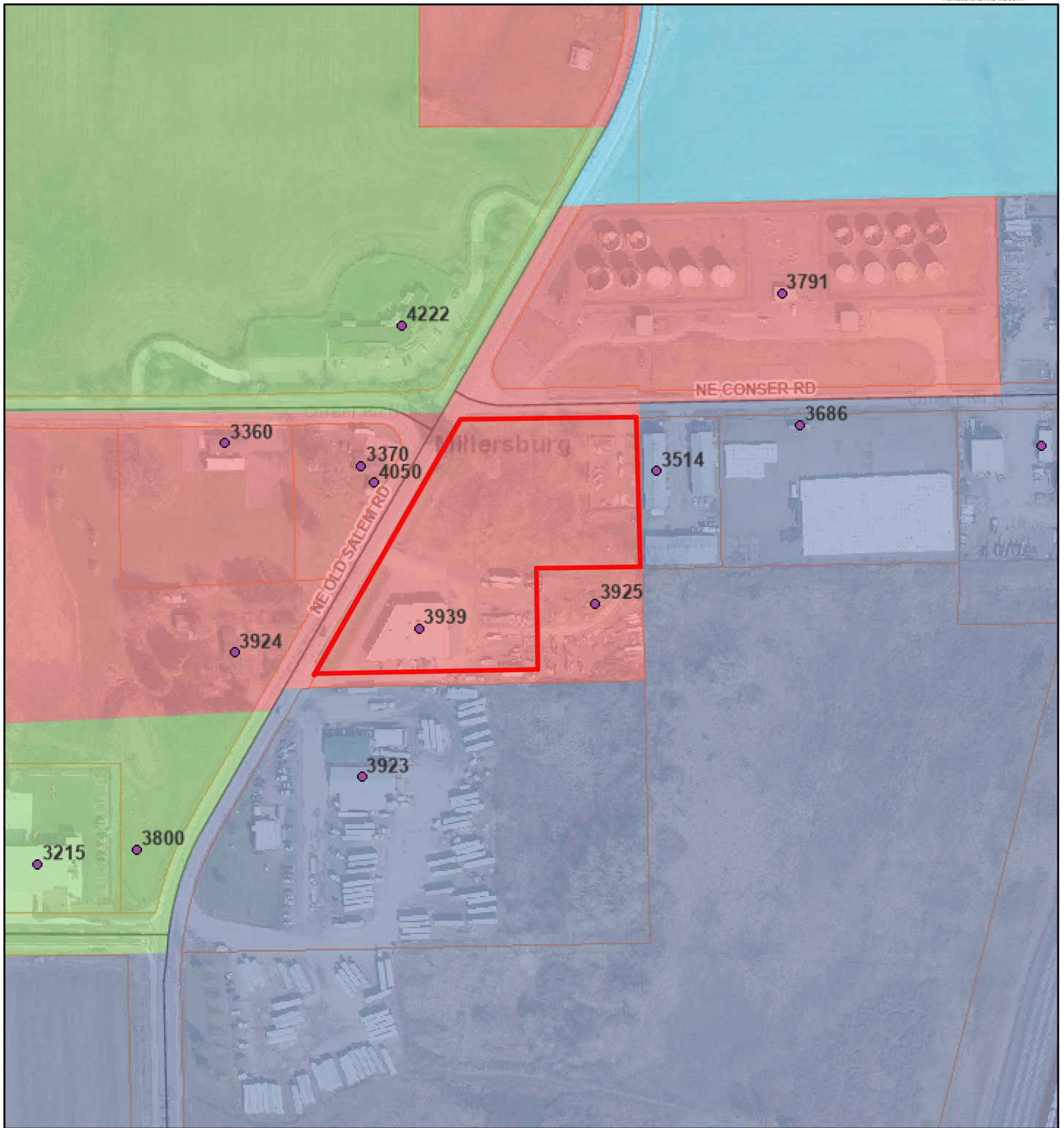


-  Railroad
-  Tax Lots
-  Roads
-  City Limits





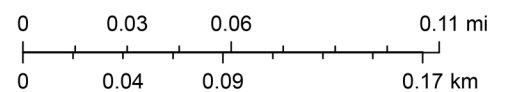
# SP 25-01 Storage Yard Zoning Map



## Millersburg Limiting

- |  |   |
|--|---|
| <span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> COMMERCIAL OFFICE | <span style="display:inline-block; width:20px; border-bottom:2px solid black;"></span> Roads        |
| <span style="display:inline-block; width:15px; height:15px; background-color:red; border:1px solid black;"></span> GENERAL COMMERCIAL      | <span style="display:inline-block; width:20px; border-bottom:2px dashed black;"></span> City Limits |
| <span style="display:inline-block; width:15px; height:15px; background-color:darkblue; border:1px solid black;"></span> GENERAL INDUSTRIAL | <span style="display:inline-block; width:20px; border-bottom:2px solid red;"></span> Tax Lots       |
| <span style="display:inline-block; width:15px; height:15px; background-color:green; border:1px solid black;"></span> PUBLIC FACILITY       | <span style="display:inline-block; width:20px; border-bottom:2px solid black;"></span> Railroad     |

1:4,514



City of Linn



TO: Matt Straite, Community Development Director

From: Lora Ratcliff, Fire Marshal

DATE: June 5, 2025

SUBJECT: SP-25-01 – Conser Storage Yard– Fire Department Comments

The fire department has reviewed the above project for conformance to the 2022 Oregon Fire Code (OFC) per your request and has the following comments, which are based on limited information provide for the pre-application meeting and are subject to change.

**\*\*Land Use permit will include a \$125 Fire Plans Review fee\*\***

1. Approved fire apparatus roadways must extend to within 150 feet of all exterior portions of any structure that will be built on the new created lot as measured by an approved route of travel around the exterior of the structure with dead-end lengths not exceeding 150 feet long unless an approved turnaround is provided. (OFC 503.1.1, OFC 503.2.5 and OFC, Appendix D 103.4).

**Access to buildings must be maintained.**

**If this project utilizes an access easement which doubles as an Emergency Vehicle Access, before the City will approve issuance of a building permit for this parcel, the applicant must provide the Building Official with evidence that the following will occur before construction materials are brought on to the site (OFC 503):**

**An Emergency Vehicle Access Easement recorded on the affected parcels identifying that said easement shall be maintained by the owners and for purposes of ingress and egress to provide, without limitation, fire protection, ambulances, and rescue services and other lawful governmental or private emergency services to the premises, owners, occupants and invitees thereof and said easement shall made part of any submittal.**

**A “no-parking” restriction must be placed over the private access road and any additional areas on the property the Fire Marshal determines must be restricted for fire access. Signage will be required.**

2. Gates securing access to the private fire apparatus access roads required for this project shall comply with all of the following criteria (OFC D103.5):
  - a. The minimum gate width shall be 20 feet.
  - b. Gates shall be of the swinging or sliding type.
  - c. Construction of gates shall be of materials that allow manual operation by one person.
  - d. Gate components shall be always maintained in an operative condition and replaced or repaired when defective.
  - e. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official.
  - f. Manual opening gates shall not be locked with a padlock or chain and padlock unless they are capable of being opened by means of a key box containing the key(s) to the lock is installed at the gate location.
  - g. Locking device specifications shall be submitted for approval by the fire code official.
  - h. Electric gate operators, where provided, shall be listed in accordance with UL 325.
  - i. Gates intended for automatic operation shall be designed, constructed, and installed to comply with the requirements of ASTM F 2200.

**This only applies if a gate is placed across the required access for any building:**

June 9, 2025

**The site plan reviewed for this meeting did not clearly indicate that a security fence or road access gate is going to be provided; however, the fire department anticipates that this will be a design feature of this project. If this gate is going to be an automatic opening type, the automatic gate opener shall be capable of being activated by all the following:**

- 1. An approved OPTICOM sensor,**
- 2. A Knox key switch, and;**
- 3. A manual means in the event of power/mechanical failure. This shall include an adjacent pedestrian gate with a Knox-style lock to provide firefighter access.**

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TO: Matt Straite, City Planner

FROM: Andrew Potts, Millersburg City Engineer

DATE: June 6, 2025

SUBJECT: SP 25-01 - Engineering Comments

Engineering has reviewed the above project and has the following comments:

1. Copies of any required federal or state permits that may be required shall be filed in the Record File of this application.
2. A **Grading Permit** is required for earthwork in excess of 50 cubic yards prior to beginning any earthwork or grading activities.
3. Stormwater:
  - a. Obtain if required by DEQ, a 1200-C Erosion Control Permit for disturbed area great than one acre. A copy of the 1200-C and a **City of Millersburg Erosion Prevention and Sediment Control Permit** for disturbed area greater than 1 acre are required prior to beginning of construction.
  - b. Stormwater quality facilities shall be designed and constructed in accordance with the City of Millersburg Engineering Standards. Prior to beginning of construction, private stormwater quality facilities require a **Post Construction Stormwater Quality Permit** and the property owner to enter into a maintenance agreement with the City of Millersburg.
  - c. A final grading and stormwater inspection will be required prior to issuance of a certificate of occupancy.
4. All construction sites shall be maintained in a clean and sanitary condition at all times. Construction debris, including food and drink waste, shall be restricted from leaving the construction site through proper disposal containers or construction fencing enclosures. Rock or any material entering public ROW shall be immediately removed at no expense to the City. Failure to comply with this condition may result in a "Stop Work" order until deficiencies have been corrected to the satisfaction of the City.