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Microphones will be muted and webcams will be turned off for presenters and members of the public unless called upon to speak.

If participant(s) disrupt the meeting, the participant(s) microphone and webcam will be turned off.

If disruption continues, the participant(s) will be removed from the meeting.

CITY OF MILLERSBURG PLANNING COMMISSION MEETING

This meeting will be conducted remotely. See instructions below to join.
January 19, 2021 @ 6:00 p.m.

Agenda

Instructions for joining the meeting by computer or phone are attached to this agenda. If you do not have access to a phone or computer, or need additional support, please contact City Hall prior to 5:00 p.m. on Thursday, January 19th.

Meeting link to join via computer:

<https://aspenuc.accessionmeeting.com/j/1167791701>

Phone number to join meeting: 503-212-9900

Meeting ID: 116 779 1701

A. CALL TO ORDER

B. ROLL CALL

C. MEETING MINUTE APPROVAL

- 1) Planning Commission Meeting held on:
 - i. October 22, 2020 Planning Commission Meeting.

D. QUASI-JUDICIAL PUBLIC HEARING

1) File No: SP 20-04 New Fire Station

Proposal: The applicant is requesting to build a new fire station on a 3.61-acre portion of a City-owned vacant property located south of City Hall on a new proposed street. The building will feature 6 employees per shift, 12 at shift change. More specifically the application proposes:

- A 9,935 square foot new building, including a kitchen, exercise room, 5 vehicle bays, 6 dormitory style living quarters, restrooms, a dayroom (living room-style area), 2 offices, a laundry room, equipment rooms, and a conference room space
- 29 parking spaces
- 760 feet of new road construction (two new streets located off Old Salem Road)
- 2 stormwater basins
- Landscaping, both internal to the parking area and streetscape landscaping

E. CITY PLANNER UPDATE

F. ADJOURNMENT

Upcoming Meeting(s):

February 9, 2021 @ 6:30 p.m. – City Council Meeting

February 16, 2021 @ 6:30 p.m. – Tentative City Council Meeting

The location of the meeting is accessible to the disabled. If you have a disability that requires accommodation to attend or participate, please notify the Millersburg City Hall in advance by calling 458-233-6300.



CITY OF MILLERSBURG PLANNING COMMISSION MEETING

4222 NE Old Salem Road
Thursday, October 22nd, 2020
6:00 pm

Minutes

A. CALL TO ORDER: Commission Chair Anne Peltier called the meeting to order at 6:00 pm.

B. ROLL CALL:

Members Present: Connie Lepin, Steve Vogler, Anne Peltier, and Mark Raum
Members Absent: Monte Ayers, Caryl Thomas, and Ryan Penning
Staff Present: Matt Straite, City Planner; Jake Gabell, Deputy City Recorder; Janelle Booth, Assistant City Manager/City Engineer; Kevin Kreitman, City Manager; Forrest Reid, City Attorney; and John Morgan, Planning Director

C. MEETING MINUTE APPROVAL

1) Review and Acceptance of August 27, 2020 Meeting Minutes

Action: Motion to accept the minutes as corrected during the meeting made by Commissioner Vogler; a second given by Commissioner Raum.

Chair Peltier: Yes

Commissioner Lepin: Yes

Commissioner Vogler: Yes

Commissioner Raum: Yes

Motion Passed: 4/0

2) Review and Acceptance of September 2, 2020 Meeting Minutes

Action: Motion to accept the minutes as presented made by Commissioner Raum; a second given by Commissioner Vogler.

Chair Peltier: Yes

Commissioner Lepin: Yes

Commissioner Vogler: Yes

Commissioner Raum: Yes

Motion Passed: 4/0

D. QUASI-JUDICIAL PUBLIC HEARINGS

1) Public hearing on Land Use File SP 20-02 opened by Commission Chair Peltier at 6:19 pm.

File No: SP 20-02 Pratum Expansion

Proposal: The applicant is requesting to expand the existing use on the site. The site currently features three buildings totaling 24,754 square feet. Two are attached (one 1,500 square foot, one 2,400 square foot) and one is a separate (20,854 square foot) structure. Additionally, there are some above ground tanks and parking. The application proposes to: convert the 2,400 square foot warehouse building into offices; add a 2,400 square feet second story over the proposed new office building for additional conference rooms and additional office space; construct a new 13,650 square foot steel building for additional storage and a service shop; add additional street landscaping; and add additional parking area with additional parking spaces and additional landscaping.

- i. Staff report was presented by Matt Straite, City Planner.
- ii. No conflicts of interest or ex parte contacts stated by any member of the Planning Commission.
- iii. Presentation by the applicant, Mr. Nolan.
 - 1. The applicant does not agree with the condition of approval that requires curbed landscape island and believes it would be a hazard.
 - 2. Discussion between the applicant, staff, and Commission on the landscape islands.
- iv. Public Testimony.
 - 1. No public testimony given.

Public hearing closed at 6:50 pm by Chair Peltier.

- i. Deliberation of Planning Commissioners with questions for staff.
 - 1. Discussion between the Planning Commissioners and staff about the interpretation of the landscape island requirement in the code.
 - 2. The memo that was distributed to the Planning Commission was briefly discussed.
 - 3. Matt Straite, City Planner, listed the changes to the landscape requirement as proposed by the Planning Commission: no new island on row 1-16, no new islands on row 17-24, and one new island on row 25-27.

ACTION

The following Motion was made by Commissioner Vogler:

Based on the findings of fact in the staff report, and the condition of approval, the proposed project satisfies the applicable criteria and the Planning Commission approves Site Plan SP 20-02 with the conditions of approval with the modifications to the landscape island requirements as discussed tonight.

A second was given by Commissioner Raum.

Chair Peltier: Yes
Commissioner Lepin: Yes
Commissioner Vogler: Yes
Commissioner Raum: Yes
Motion Passed: 4/0

E. City Planner Update:

- 1) City Planner Matt Straite gave an update on the new code adoption and the changes the City Council made at the last hearing. He also discussed the current applications being worked on.

F. Meeting adjourned by Commission Chair Peltier at 7:11 pm.

Respectfully submitted:

Reviewed by:

Jake Gabell
 Deputy City Recorder

Matt Straite
 City Planner



Proposal: The applicant is requesting to build a new fire station on a 3.61-acre portion of a City-owned vacant property located south of City Hall on a new proposed street. The building will feature 6 employees per shift, 12 at shift change. More specifically the application proposes:

- A 9,935 square foot new building, including a kitchen, exercise room, 5 vehicle bays, 6 dormitory style living quarters, restrooms, a dayroom (living room-style area), 2 offices, a laundry room, equipment rooms, and a conference room space,
- 29 parking spaces,
- 760 feet of new road construction (two new streets located off Old Salem Road),
- 2 stormwater basins,
- Landscaping, both internal to the parking area and streetscape landscaping.

I. BACKGROUND

A. Applicant: The City of Millersburg

B. Location: 3222 Alloy Way

C. Review Type: The proposed Site Design Review requires a hearing before the Planning Commission. The Planning Commission is scheduled to hold a hearing on the application on January 19, 2021. The Planning Commission decision can be appealed to the City Council. Any appeal of the City Council's decision relating to this matter will be considered by the Oregon Land Use Board of Appeals (LUBA).

D. Public Notice and Hearing: Notice was mailed to all property owners within 200 feet of the proposed location, posted in City Hall on January 4, 2021, and posted on the City's website here - <http://cityofmillersburg.org/planning-commission/>

E. Review Criteria: Chapter 5.05.060 Site Development Review Criteria

F. Current Zoning: Public Facilities (PF)

G. Proposed Zoning: N/A

H. Property Size: 3.61 Acres of a 59.34-acre property

- I. Background: A temporary fire station is located across the street from City Hall. This application is for an all-new facility located south of the current location. The two new streets are not proposed on the City Transportation System Plan. The intention is for the north/south street to connect to Conser Road someday. That connection is not part of the proposed project.

II. AFFECTED AGENCY, PUBLIC NOTICE, AND PUBLIC COMMENTS

Agencies:

The applicant's materials were transmitted to the following agencies/departments on December 22, 2020: City of Albany, Albany Fire Department, Linn County Sheriff's Office, City of Millersburg Engineer, Oregon Department of State Lands, PacificCorp, Linn County Planning and Building Department, Linn County GIS, Northwest Natural Gas, United States Postal Service, and Republic Services. To date, the following comments have been received:

- Albany Fire Department dated December 23, 2020
- City of Millersburg Engineering dated December 31, 2020
- Linn County Transportation dated January 8, 2021

Public:

Notice of the January 19, 2020 hearing was mailed to all property owners within 200 feet of the property. To date, no written comments from the public have been received by staff.

III. CRITERION

CITY OF MILLERSBURG DEVELOPMENT CODE

The applicable site development review criteria are from section 5.05.060. All analysis and findings are in addition to those provided by the applicant, which are included here by reference.

The review of a site plan shall be based upon the following criteria:

(1) The proposed use is allowed in the zone and complies with the underlying zone development standards.

ANALYSIS: The use is a fire station and community meeting room, which is a government facility. The project is located in the Public Facilities (PF) Zone. Section 2.11.020 lists the uses that are permitted in the PF zone. Use (2) is Municipal Service Facilities which specifically lists fire stations. A Site Development Review Permit is still required.

FINDING: Based on the analysis above, the project meets the required criteria.

(2) The proposed use will not create negative impacts on the surrounding area resulting from traffic flow, noise, dust, glare, odor, potential incompatible adjacent uses such as parking lots, or other impacts identified in the public hearing process.

ANALYSIS: The applicant has stated that the project was designed to address all these possible impacts. The proposed project is not located near any residential uses, therefore, there are no conflicting uses near the site. The industrial zoning surrounding the site is expected to accommodate a higher level of impacts, similar to the kind of impacts that are listed, including noise and odors. Having that said, the project is not anticipated to result in any high levels of dust, glare, odors, or other issues. Noise is the one exception. This is a fire station; the sirens from the vehicles are anticipated to create high levels of noise. This is mitigated by the fact that there are no neighboring residential zones.

FINDING: Based on the analysis above, the project meets the required criteria.

(3) The City may impose conditions of approval intended to mitigate potential impacts including but not limited to:

a. Provisions for public utilities, including drainage and erosion control needs;

ANALYSIS: The project will be extending public utilities into the site from Old Salem Road. The site includes two drainage features that address onsite drainage needs. These are reviewed in more detail below. Some standard conditions have been added to assure these are installed and administered properly.

FINDING: Based on the analysis above, the project meets the required criteria.

b. Parking, traffic safety, and connectivity of internal circulation to existing and proposed streets, bikeways, and pedestrian facilities;

ANALYSIS: Parking, traffic safety and pedestrian/bikeway needs are reviewed in more detail below. The project meets all parking and sidewalk design requirements. No additional conditions of approval are required.

FINDING: Based on the analysis above, the project meets the required criteria.

c. Provision for adequate noise and/or visual buffering from non-compatible uses including using site and landscaping design to provide needed buffering; and

ANALYSIS: As stated above, the project is not located near any residential uses. All neighboring zones and uses are not as sensitive to the noises created by the sirens of the fire vehicles. The noise is mitigated by the zones.

FINDING: Based on the analysis above, the project meets the required criteria.

d. Protections from any potential hazards.

ANALYSIS: The station is not anticipated to use or require any hazardous materials onsite in significant quantities. The project is located near an area that has been identified as having potentially hazardous levels of radon in the soil based on previous land use activities. However, the site is located far enough from these radon areas to not be a danger or require any mitigation. No additional conditions of approval are required.

FINDING: Based on the analysis above, the project meets the required criteria.

IV. STANDARDS

The proposed design complies with all the specifications and design requirements of Chapter 2, specifically the PF zone setbacks and siting requirements, and Chapter 3 General Provisions. The following analysis is a summary of only applicable standards or items that required additional explanation and/or additional conditions of approval to show clear consistency:

CHAPTER 2.11 PUBLIC FACILITIES ZONE (PF)

SECTION 2.11.050 DIMENSIONAL STANDARDS

This section contains development standards in the form of setbacks and other siting standards listed in Table 10. This zone does not require any setbacks if a project is not residential. The height limit is 60 feet. All other standards are addressed in other sections of this staff report.

ANALYSIS: The structure is 18 feet tall at the highest point, well under the 60-foot height requirement.

FINDING: Based on the analysis above, the project meets the standard.

SECTION 3.01.030 APPLICATION OF PUBLIC FACILITY STANDARDS

This section includes Table 11 that outlines what improvements will be required. The proposed use is most similar to a new industrial use and therefore requires:

Land Use Activity	Fire Hydrant	Street Improvements	Water Hook up	Sewer Hook up	Storm Drain	Street lights	Bike and Pedestrian
New Industrial Building	Yes	Yes	Yes	Yes	Yes	Yes	Yes

ANALYSIS: The applicant proposes to construct half-width street improvements along two frontages and construct all required infrastructure as outlined in more detail in the following sections of this report.

FINDING: Based on the analysis above, the project meets the standard.

CHAPTER 3.02 STREET STANDARDS

SECTION 3.02.030 GENERAL PROVISIONS

This section includes requirements for street layouts, continuation of streets, alignment, future street extensions, intersection angles, existing streets, details on when half streets are applicable, grades and curves, access requirements, and other street standards. The project is proposing to construct two new streets; therefore this section applies.

ANALYSIS: The design of the streets creates essentially a stubbed street, intended to be extended at some point in the future. This is permitted in the Code in Section 3.02.030(4). The proposal is consistent with the requirements of this section, specifically as they relate to turn-arounds. All intersection angles are consistent with the Code requirements. The project proposes half street improvements which is permitted in subsection 7. Table 12 contains the standards for the new streets. The proposed streets are fully consistent with these requirements and have been reviewed for compliance by the City Engineer. The applicant's narrative explains further:

The property currently fronts Old Salem Road. The project will include construction of a new street, which will provide access for the new station, as well as future industrial uses on adjacent properties. The new roadway will

intersect with Old Salem Road at the curve south of the intersection with Conser Road. This is also the location of a future interchange on/off ramp.

The new road will be constructed to arterial standards for two lanes + center turn lane (per Table 12) with an 80-foot right-of-way width, 12 to 14-ft travel lanes, and 14-ft median. The road section also includes a 6-foot bicycle lane on one side and a 10-foot multi-use path on the other side. Sidewalks on the south and west sides of the new road are not included in this project for several reasons: there is no development currently existing or proposed to the south or east of the new road that would create a need for pedestrian facilities; future development of this area will require construction of private utilities (power, natural gas, telecommunications) which will likely impact the sidewalk; and a 10-foot wide multi-use path which will accommodate both pedestrian and bicycle traffic will be constructed on the north and east side of the new road. 9-foot wide stormwater/planter strips will be provided between the back of curb and multiuse path. Street lighting will be designed per Millersburg standards.

The new road meets intersection and driveway spacing requirements. It will be approximately 1000 feet south of the nearest intersection (Conser Road and Old Salem Road) and more than 300 feet from the nearest driveways. Fire signals (flashing lights) will be provided both north and south of the new intersection to warn traffic of fire vehicles entering Old Salem Road.

Vehicles accessing the site will include fire and emergency response apparatus and personal vehicles. Trips per day for fire apparatus are estimated to be approximately 16 and for personal vehicles, approximately 30. The increase in traffic generated by the project is well below the threshold of 300 trips per day to warrant a traffic impact analysis.

FINDING: Based on the analysis above, the project meets these standards.

SECTION 3.02.070 SIDEWALKS

This section includes requirements for sidewalks in all parts of the City.

ANALYSIS: The proposed project includes two new streets that front the project site. These will be built to half street standards, plus additional lane improvements for two-way traffic. No landscaping or sidewalks are proposed for the side of the streets that oppose the project, though full sidewalks and landscaping will be installed on the project side of the street. The north/south street proposed on the west side of the project site is designed to extend north to Conser Road in the future.

The new streets have been reviewed by the City Engineer and have been determined to conform with these requirements.

FINDING: Based on the analysis above, the project meets these standards.

CHAPTER 3.03 OFF-STREET PARKING REQUIREMENTS

SECTION 3.03.060 OFF STREET VEHICLE AND BIKE PARKING REQUIREMENTS

Table 14 provides the requirements for parking spaces for the proposed use. The applicable section of that table is shown below.

	Land Use Activity	Vehicle spaces	Bike Spaces
O	Municipal and government	1 per 800 sq ft plus 1 space per 2 employees	1

ANALYSIS: The applicant has indicated that 19 spaces are required. By staff's accounting, the project features about 10,000 square feet and up to 6 employees per shift. The project also features a community room, which would fall under the same parking requirements as a government use. Therefore, the square footage requirements would be for 12 parking spaces (10,000 sq ft / 800 sq ft), plus 3 additional spaces for staff (6 staff / 2). The parking total would therefore be 15 spaces. 29 spaces are provided.

FINDING: Based on the analysis above, the project meets the standards.

SECTION 3.03.080 PARKING AND LOADING AREA DEVELOPMENT REQUIREMENTS

This section contains development standards for the parking areas including surfacing, stall sizes, and driveways.

ANALYSIS: All parking stall meet the minimum requirements. Curbing is provided, and the parking area will be paved.

FINDING: Based on the analysis above, the project meets the standards.

CHAPTER 3.04 STORM DRAINAGE AND GRADING

This chapter includes requirements for proper drainage of the site and treatment of stormwater.

ANALYSIS: New permanent stormwater facilities are included for both the new road and the fire station site. They have been designed in accordance with City of Millersburg engineering standards for water quality and quantity. Stormwater facilities associated with the new street will be stormwater planter swales. For the fire station site, stormwater facilities include stormwater ponds/swales along the west side of the site.

Stormwater will be discharged from the new water quality and quantity facilities to the drainage channel located to the west within the existing City-owned industrial property. The basins were reviewed by the City Engineer and found to meet all City requirements, though conditions of approval have been added to require the applicant to submit stormwater calculations to show the basins are adequately designed. Curbing is provided, and the parking area will be paved.

A 1200-C permit and a Millersburg permit for temporary erosion protection during construction will be obtained by the contractor prior to any ground disturbing activities.

FINDING: Based on the analysis above, with conditions of approval, the project meets the standards.

CHAPTER 3.09 LANDSCAPING STANDARDS

SECTION 3.09.030(1)b NON RESIDENTIAL LANDSCAPING

Landscaping is required in all setback areas. Standards are included in this section of the Code which explain how the landscaping is supposed to be designed; however, the standards only apply to commercial-industrial zones, which do not apply to this project as this is located within a Public Facilities Zone. Therefore, the only requirement is that the setbacks be landscaped.

ANALYSIS: The site includes full landscape plans that are consistent with these requirements. All plantings are conditioned to be installed prior to occupancy, or to provide security deposits.

FINDING: Based on the analysis above, with conditions of approval, the project meets the standards.

SECTION 3.09.030(2) PARKING LOT LANDSCAPING

This section regulates landscaping within parking areas. Specifically, this regulates planter bays requirements (every 12 spaces with a tree in each bay), parking space buffers, and other regulations.

ANALYSIS: The site includes tentative landscape plans that are consistent with these requirements. Landscape planters are provided for every 6 spaces in the parking area which is well in excess of the requirement. All plantings are conditioned to be installed prior to occupancy, or to provide security deposits.

FINDING: Based on the analysis above, the project meets the standards.

V. RECOMMENDATION

Based on the above findings of fact, and the conditions of approval, the proposed project satisfies the applicable criteria and standards, and staff recommends the Planning Commission approve Application No. SP 20-04.

VI. PROPOSED MOTION

Based on the findings of fact in the staff report, and the conditions of approval, the proposed project satisfies the applicable criteria and standards, and the Planning Commission approves Site Plan SP 20-04 with the conditions of approval.

VII. ALTERNATIVE RECOMMENDATION

Should the Planning Commission not elect to approve the proposed development, they could continue the item for further discussion or deny the application citing the specific criteria not satisfied by the application.

VIII. CONDITIONS OF APPROVAL

General Conditions:

1. This land use approval shall substantially comply with the submitted preliminary plans included as Exhibit C, except as indicated in the following conditions. Additional development or change of use may require a new development application and approval.
2. Copies of any required federal or state permits that may be required shall be filed in the Record File of this application.

3. This approval does not negate the need to obtain permits, as appropriate from other local, state or federal agencies, even if not specifically required by this decision.

Prior to Building Permit Issuance

4. Prior to the issuance of building permits the applicant shall provide a clearance letter (or email) to the City from the Albany Fire Department indicating that all applicable requirements of the letter dated December 23, 2020 have been met to the satisfaction of the Fire Department.
5. Stormwater detention and water quality facilities shall be designed as required to meet City standards. Stormwater calculations shall be submitted to the City Engineer for review and approval. Maintenance of detention basin and water quality facilities shall be the responsibility of the City.
6. The applicant shall submit engineering plans for all public improvements, including connections to public utilities (water, sewer, storm water, and streets) to City Engineer. The engineering plans shall conform to the Millersburg Engineering design standards, to the satisfaction of the City Engineer.

Prior to Grading:

7. The applicant must obtain a City of Millersburg Erosion Control Permit and Grading Permit prior to construction.
8. In addition to City of Millersburg Erosion Control Permit, the applicant is required to obtain a 1200C Erosion Control Permit for site disturbance of one acre or greater. The applicant shall follow the latest requirements from DEQ for NPDES 1200-C Permit submittals. A copy of the approved and signed permit shall be provided to the City prior to any ground disturbing activities.
9. All required public improvement plans shall be approved by the City prior to beginning construction. All utilities shall remain uncovered until inspected and approved by the City. All required public improvements shall be completed and approved by the City prior to occupancy.

Prior to Final Inspection:

10. Prior to final inspection of the structure, the applicant shall provide the City with a clearance letter (or email) from the Albany Fire Department indicating that all

comments in the December 23, 2020 letter are addressed to the satisfaction of the Fire Department.

11. All required street signage and street lighting shall be approved by the City Engineer and installed.
12. Install the landscaping according to the landscape plan prior to occupancy or provide security, at the option of the City. Landscaping shall be completely installed or provide for erosion control measures around any disturbed or exposed areas.
13. Prior to the final inspection all parking shall be installed, including landscaped islands.

IX. NOTICES TO THE APPLICANT

The applicant should also be aware of the following standards and processes that are required for development. These are not part of the decision on this land use case and are provided as a courtesy to the applicant. Please contact City Hall with any questions.

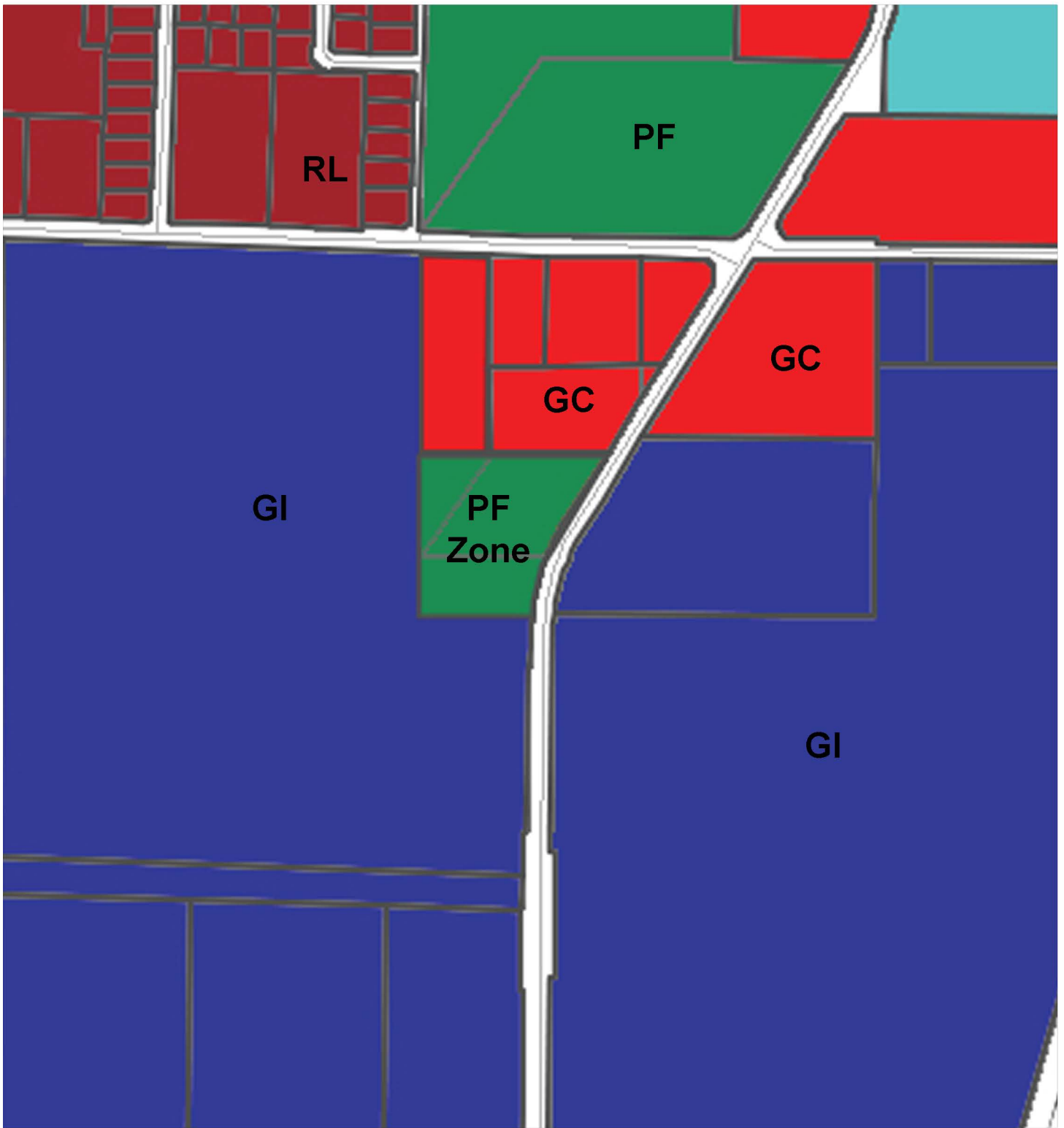
1. Compliance with the Conditions of Approval is the responsibility of the developer or its successor in interest.
2. The applicant shall comply with the fire protective standards administered by the Linn County Building Official and the Albany Fire Department. Hydrant and turnaround locations shall be provided by the applicant and approved by the Albany Fire Department and the City.
3. All required street signage and street lighting shall be approved by the City Engineer and installed.
4. Dust shall be controlled within the development during construction and shall not be permitted to drift onto adjacent properties.
5. The developer is responsible for all costs associated with any remaining public facility improvements and shall ensure the construction of all public streets and utilities within and adjacent to the tentative map as required by these conditions of approval, to the plans, standards, and specifications of the City of Millersburg.
6. **This approval is valid for a period of one (1) year from the date of the decision notice.** Extensions may be granted by the City as afforded by the Millersburg Development Code.

7. The continual operation of the property shall comply with the applicable requirements of the Millersburg Development Code.
8. This approval does not negate the need to obtain permits, as appropriate from other local, state, or federal agencies, even if not specifically required by this decision.
9. Noise shall be kept at the minimum level possible during construction. The developer shall agree to aggressively ensure that all vehicles working in the development shall have adequate and fully functioning sound suppression devices installed and maintained at all times.
10. All construction sites shall be maintained in a clean and sanitary condition at all times. Construction debris includes food and drink waste. All waste shall be contained on site in proper containers or construction fencing enclosures and shall leave the construction site in proper disposal containers. Failure to comply with this condition may result in a "Stop Work" order until deficiencies have been corrected to the satisfaction of the City.

X. EXHIBITS

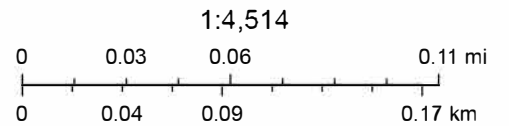
- A. Zoning Map
- B. Vicinity Map
- C. Applicant's exhibits dated 12/02/20:
 - a. Floor Plans Sheet A2.01
 - b. Elevations Sheet A3.01 and 2
 - c. Site Plan Sheet C1.00
 - d. Grading Plan Sheet C2.00
 - e. Site Utility Plan Sheet C3.00
 - f. Details Sheet C4.00
 - g. Conceptual Landscape Plan (no sheet number provided)
 - h. Applicants Narrative dated December 16, 2020
- D. Millersburg City Engineer Comments dated December 31, 2020
- E. Albany Fire Department Comment Letter dated December 23, 2020
- F. Linn County Transportation Department comment email dated January 8, 2021
- G. Public Hearing Notice

SP 20-04 Zoning Map



12/16/2020, 2:36:30 PM

- Roads
- Tax Lots



Public Facility Zone (PF)

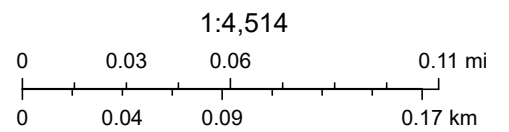
Linn County GIS

SP 20-04 Vicinity Map

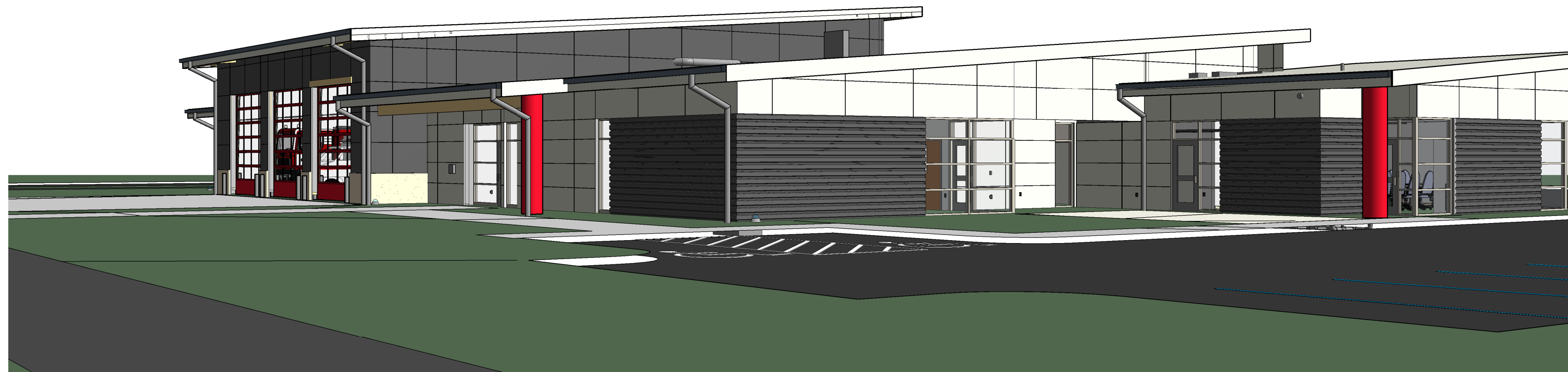


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- Roads
- Tax Lots



Linn County GIS



CONCEPTUAL RENDERING



Station 15 Millersburg Fire

3800 Old Salem Rd NE
Millersburg, OR 97321

50% CD SET
12/02/20

Soderstrom
Architects

Project

Consultant

Revisions

No.	Description	Date

Stamp



Issuance

50% CD SET

Date

12/02/20

Project Number

20006

Drawing Title

OVERALL FLOOR PLAN

Sheet No

A2.01

SHEET NOTES

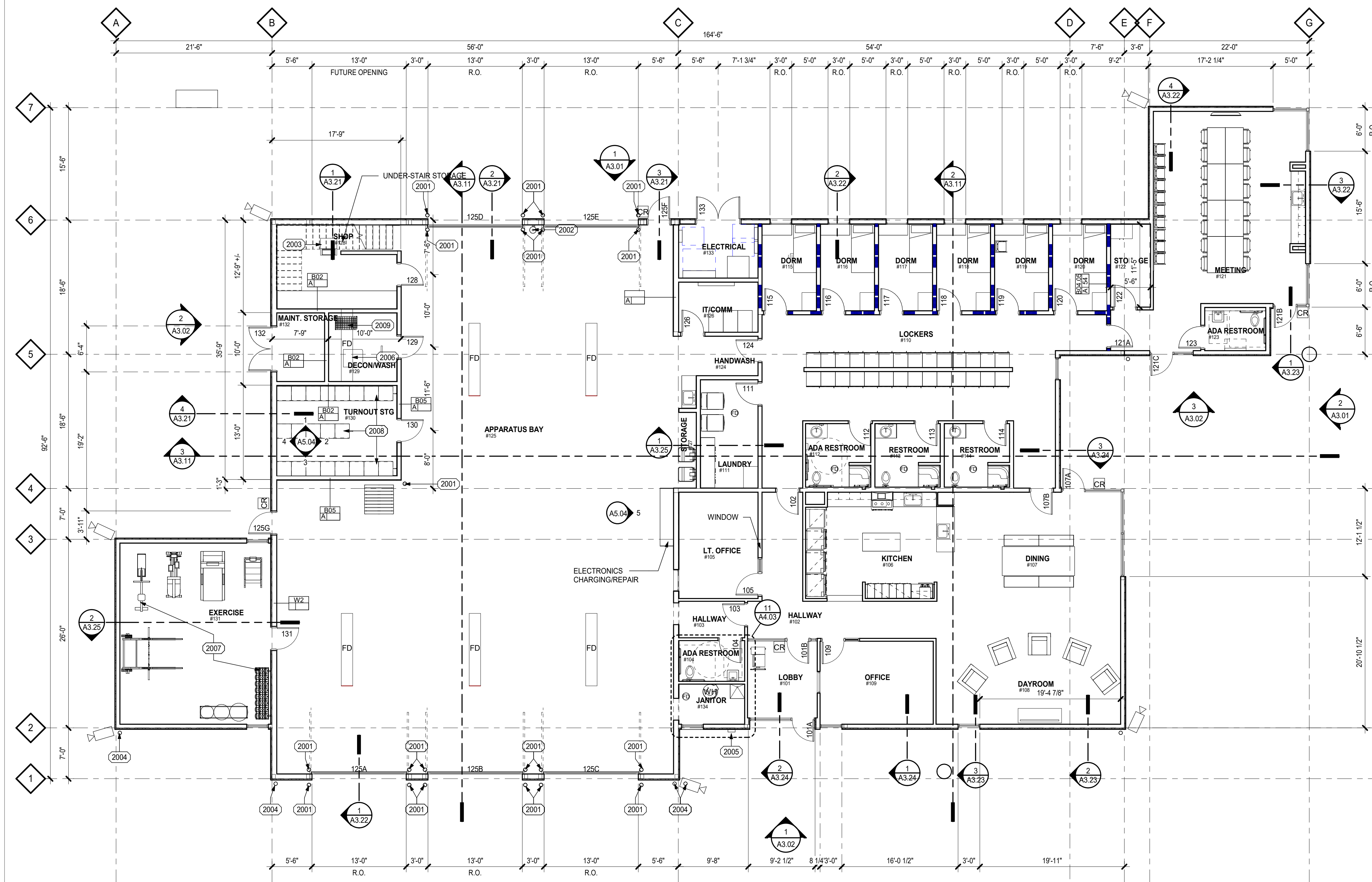
1. ANY INTERIOR WALL NOT LABELED WITH A WALL TAG SHALL BE WALL TYPE: B01.
2. REFER TO SHEET A0.11 FOR INTERIOR PARTITION TYPES AND KEY.
3. REFER TO DIMENSIONAL STANDARDS ON A0.11.
4. ALL ACOUSTIC WALL SEPARATIONS MUST BE SEALED FOR SOUND TRANSMISSION.

LEGEND

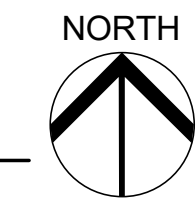
- 1 SIM ENLARGED VIEW MARK
1=SECTION NO.
A101= SHEET NO.
- PARTITION MARK
(REF. INTERIOR ASSEMBLIES)
- A 1001 DOOR TAG
- FLOOR DRAIN - SEE PLUMBING DRAWINGS
- FLOOR TRENCH DRAIN - SEE PLUMBING DRAWINGS
- FLOOR SINK - SEE KITCHEN EQUIPMENT DRAWINGS

LEGEND - KEYNOTES

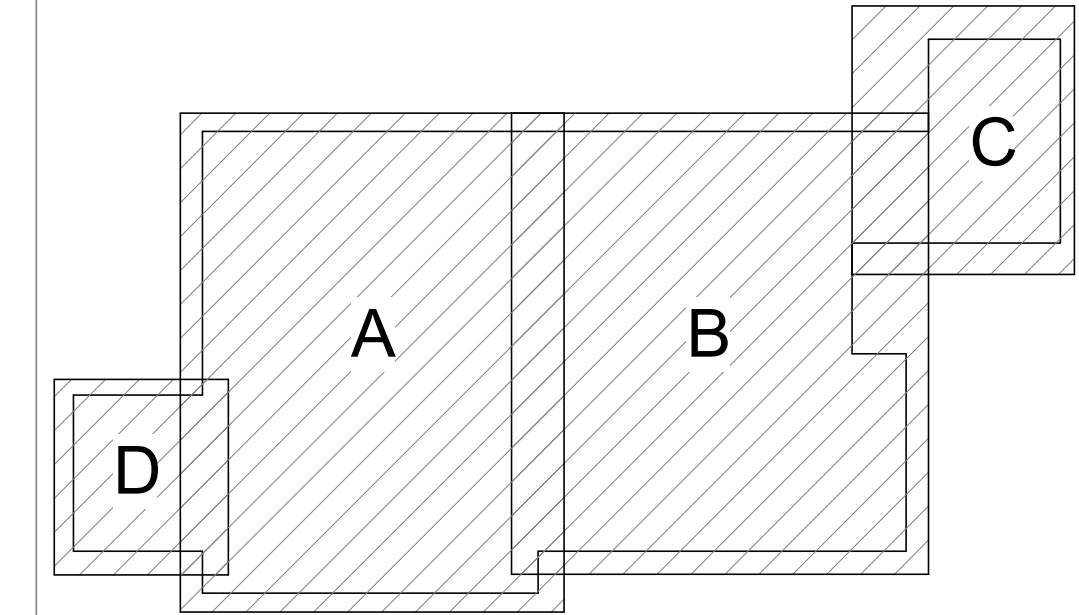
MARK	DESCRIPTION
2001	6" DIA. BOLLARD
2002	EYE WASH
2003	ICE MACHINE
2004	6" DIA. DOWNSPOUT. SEE CIVIL PER CONNECTION.
2005	INTERCOM/DOOR ENTRY BOX. SEE ELECTRICAL.
2006	EXTRACTOR WASHER. SEE PLUMBING FOR ADD'L INFO.
2007	GYM EQUIPMENT BY OWNER. COORDINATE LOCATIONS WITH OWNER. PROVIDE BLOCKING AS REQUIRED.
2008	TURNOUT RACKS BY OWNER
2009	DRYING RACKS BY OWNER.



1 OVERALL FLOOR PLAN
1/8" = 1'-0"



Key Plan



**Millersburg Fire
Station 15**
3800 Old Salem Rd NE
Millersburg, OR 97321



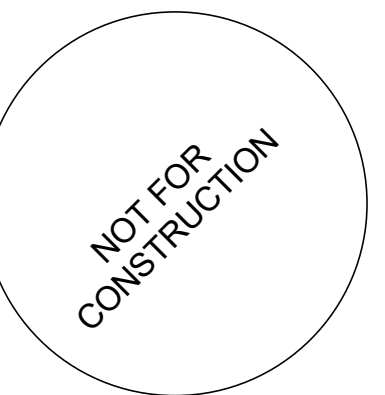
Project

Consultant

Revisions

No.	Description	Date

Stamp



Issuance

50% CD SET

Date

12/02/20

Project Number

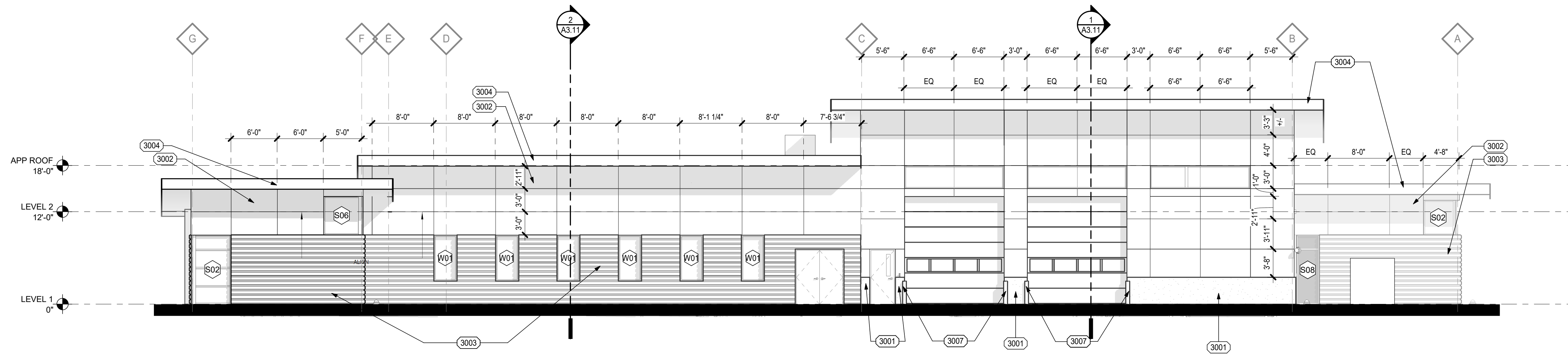
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Drawing Title

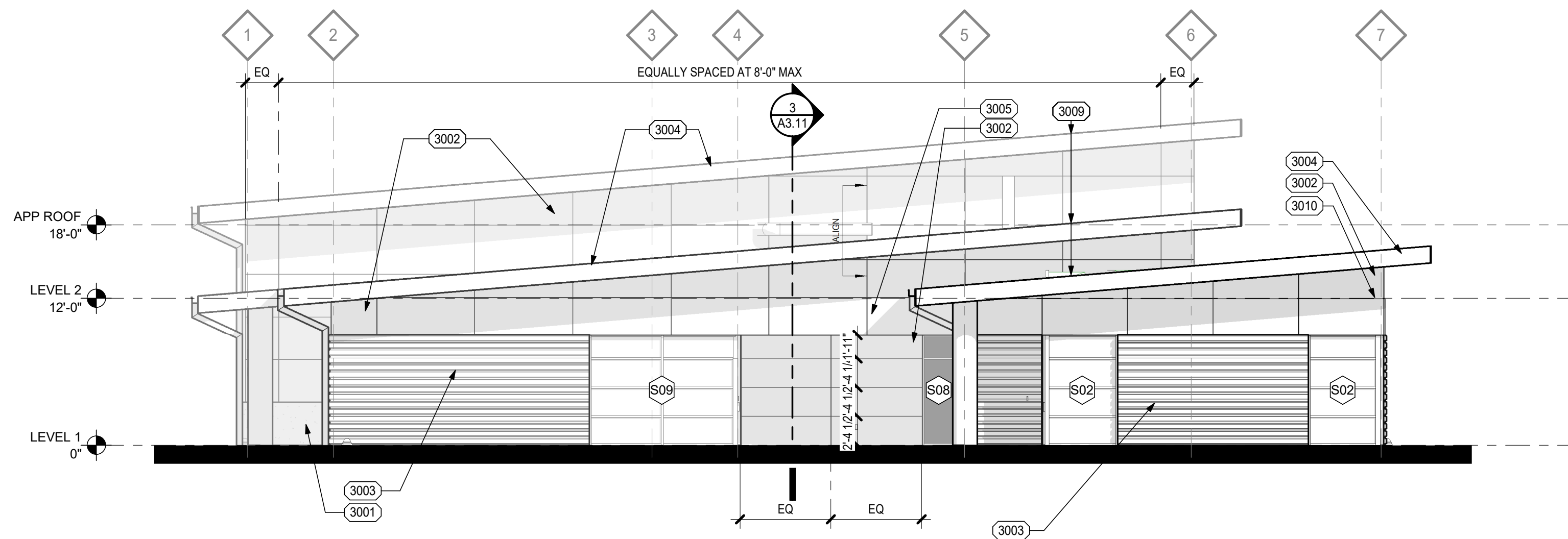
**EXTERIOR
ELEVATIONS**

Sheet No

A3.01



1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

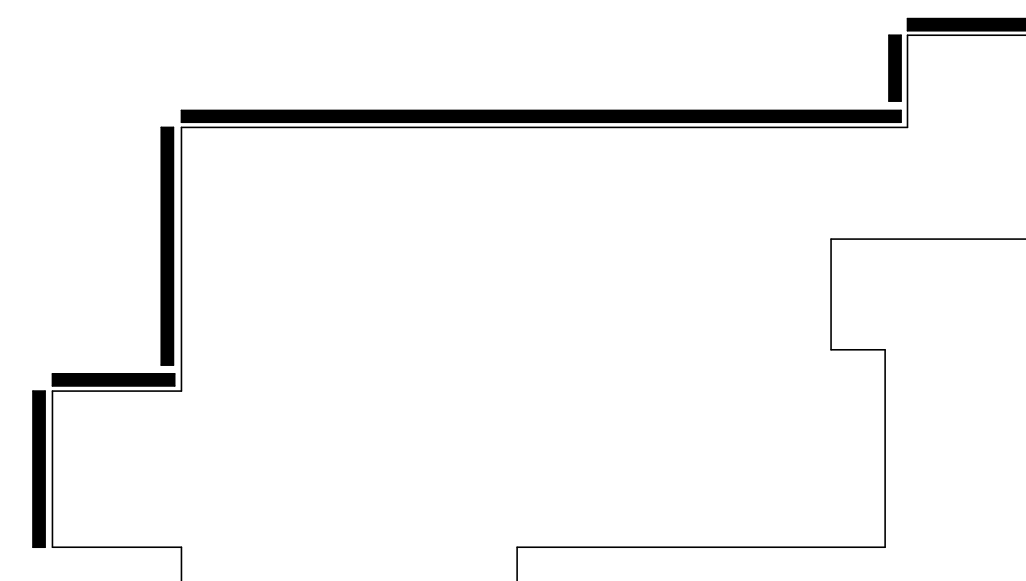
SHEET NOTES

1. REFER TO EXTERIOR ASSEMBLIES TYPES ON A0.01
2. REFER TO EXTERIOR FRAME TYPES ON A0.XX
3. PANELS AT APPARATUS BAY TO BE P1. PANELS, AT REMAINDER OF BUILDING TO BE P2.
4. BOX RIB TO BE P1.

LEGEND - KEYNOTES

MARK	DESCRIPTION
3001	42" HIGH PRECAST BASE
3002	FIBER CEMENT BOARD PANEL REVEAL SYSTEM.
3003	BOX RIB PANEL
3004	18" FASCIA.
3005	6" DIA. DOWNSPOUT, PAINT TO MATCH WALL.
3007	STEEL BOLLARD
3009	STANDING SEAM METAL ROOF.
3010	ALIGN WITH JOINT ON NORTH ELEVATION.

Key Plan



**Millersburg Fire
Station 15**
3800 Old Salem Rd NE
Millersburg, OR 97321



Project

Consultant

Revisions

No.	Description	Date

Stamp



Issuance

50% CD SET

Date

12/02/20

Project Number

20006

Drawing Title

**EXTERIOR
ELEVATIONS**

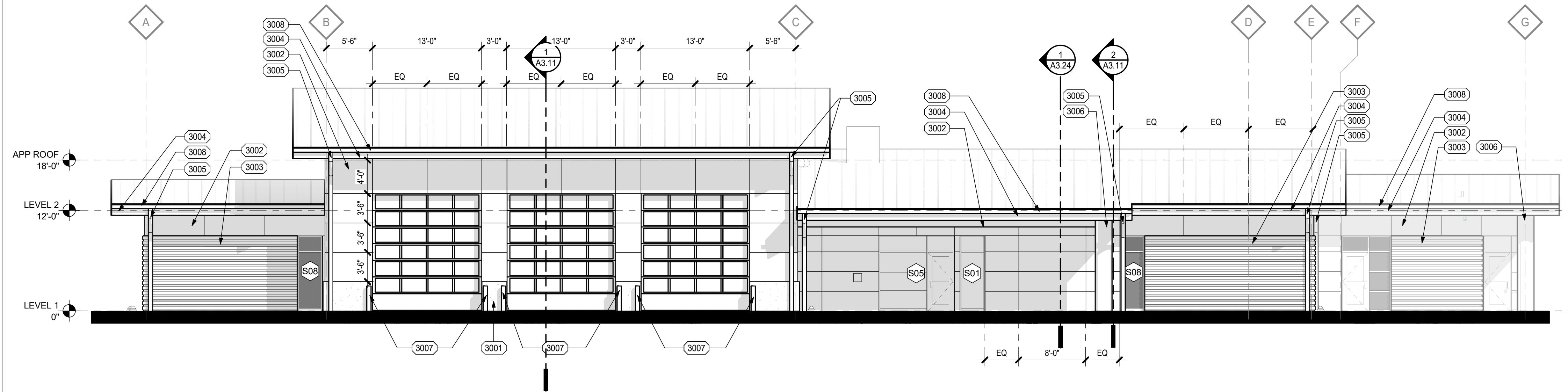
Sheet No

A3.02

SHEET NOTES

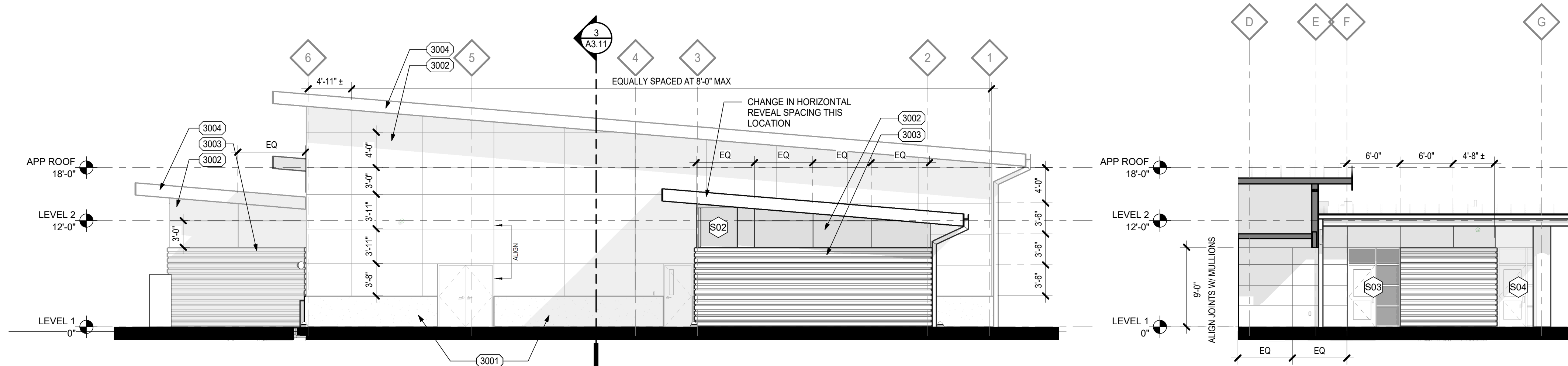
1. REFER TO EXTERIOR ASSEMBLIES TYPES ON A0.01
2. REFER TO EXTERIOR FRAME TYPES ON A0.XX
3. PANELS AT APPARATUS BAY TO BE P1. PANELS, AT REMAINDER OF BUILDING TO BE P2.
4. BOX RIB TO BE P1.

LEGEND - KEYNOTES	
MARK	DESCRIPTION
3001	42" HIGH PRECAST BASE
3002	FIBER CEMENT BOARD PANEL REVEAL SYSTEM.
3003	BOX RIB PANEL
3004	18" FASCIA.
3005	6" DIA. DOWNSPOUT, PAINT TO MATCH WALL.
3006	COLUMN WITH WRAP, COLOR P3
3007	STEEL BOLLARD
3008	6" X 6" GUTTER



1 SOUTH ELEVATION

1/8" = 1'-0"



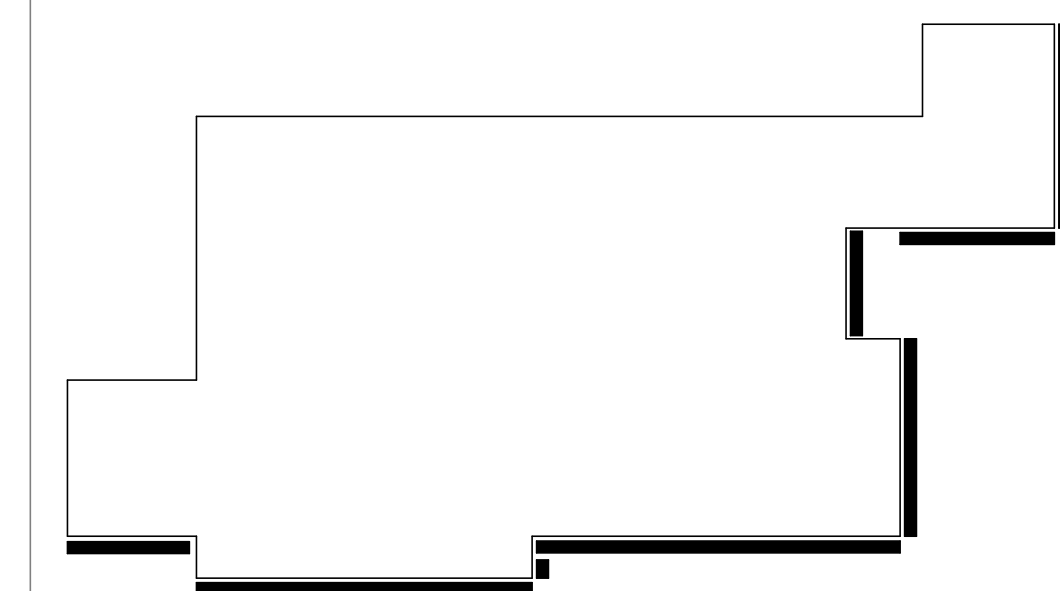
2 WEST ELEVATION

1/8" = 1'-0"

3 SOUTH ELEVATION - MEETING ROOM

1/8" = 1'-0"

Key Plan





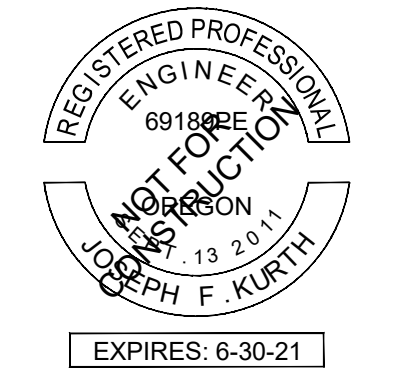
Consultant



Revisions

No.	Description	Date

Stamp



Issuance

50% CD SET

Date

12/2/20

Project Number

20335

Drawing Title

SITE PLAN

Sheet No

C1.00

GENERAL SITE INFORMATION	
ITEM	DESCRIPTION
LOCATION	OLD SALEM ROAD - MILLERSBURG, OR
LEGAL DESCRIPTION	T 10 S R 03 W SEC 28
PROPERTY ID	
ZONING	PF (PUBLIC FACILITIES ZONE)
LOT SIZE	3.61 ac (PROPERTY LOT)
IMPERVIOUS AREA	47,300 sf
PERVIOUS AREA	109,150 sf

GENERAL BUILDING INFORMATION		
BUILDING	SIZE	HEIGHT
STATION 15	9,935 SQFT	±22'-0"

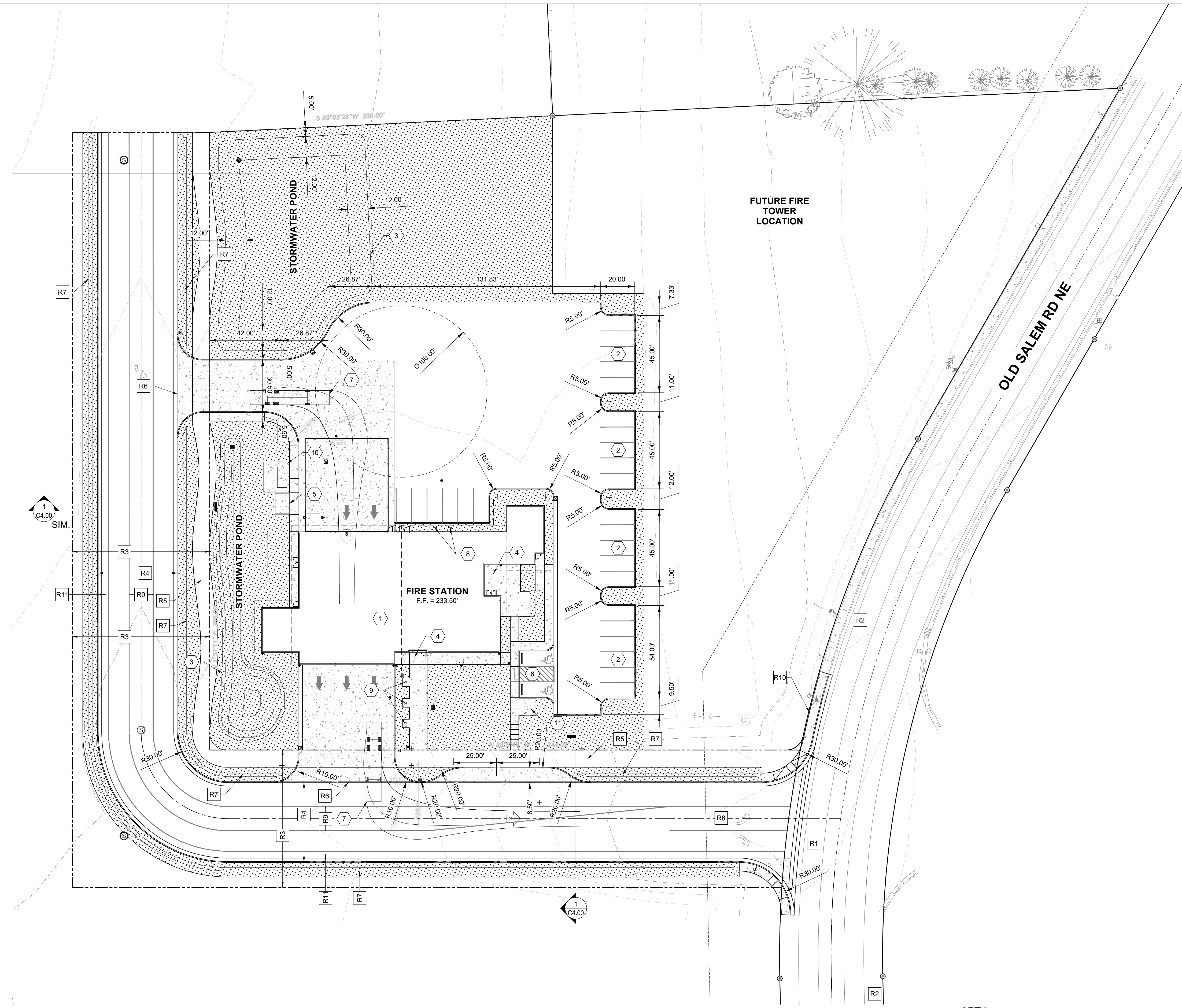
PARKING REQUIREMENTS			
EMPLOYEES PER SHIFT	6		
TOTAL EMPLOYEES AT SHIFT CHANGE	12		
PARKING REQUIREMENTS PER MILLERSBURG DEVELOPMENT CODE CH. 3.03			
VEHICLE SPACES	MIN. REQUIRED	RATIO	REQUIRED
MUNICIPAL / GOVERNMENT	1 SP PER 2 EMPLOYEES + 1 SPACE PER 800 SQFT	12 EMPLOYEES	19
TOTAL REQUIRED			19
TOTAL PROVIDED			29
BICYCLE STALL	MIN. REQUIRED	RATIO	REQUIRED
	1 PER 20 VEHICLE SPACES		1
TOTAL REQUIRED			1
TOTAL PROVIDED			1

SITE KEYNOTES

- 1 FIRE STATION BUILDING
- 2 EMPLOYEE AND COMMUNITY VISITOR PARKING AREA
- 3 STORMWATER RETENTION POND
- 4 RAISED SIDEWALK AND ENTRY CONCRETE PAD
- 5 TRASH ENCLOSURE (SEE ARCH PLANS)
- 6 ADA ACCESSIBLE PARKING AND ADA APPROVED RAMP PROVIDE SIGNAGE AS REQUIRED
- 7 FIRE TRUCK MANEUVERING AROUND SITE
- 8 EV CHARGING PEDESTAL (SEE ELECTRICAL PLANS)
- 9 FLAG POLES
- 10 GENERATOR AND CONCRETE PAD (SEE ELECTRICAL PLANS)
- 11 LIFE JACKET STORAGE AREA

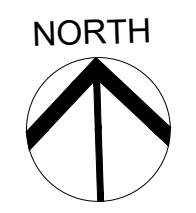
R.O.W. CONSTRUCTION KEYNOTES

- R1 INTERSECTION AT OLD SALEM ROAD ADA ACCESSIBLE RAMPS AT INTERSECTIONS
- R2 SIGNAL FOR FIRE VEHICLES ENTERING TRAFFIC ON OLD SALEM RD
- R3 80'-0" R.O.W. DEDICATION
- R4 46'-0" WIDE ROADWAY SECTION
- R5 10'-0" WIDE MULTI-USE AC PAVED PATH
- R6 CONCRETE DRIVEWAYS
- R7 9'-0" WIDE LOW IMPACT DEVELOPMENT TREATMENT SWALES
- R8 LEFT TURN LANE
- R9 14'-0" MEDIAN AND/OR TURNING / REFUGE LANE
- R10 5'-0" WIDE SIDEWALK
- R11 6'-0" WIDE BICYCLE LANE



FUTURE FIRE TOWER LOCATION

OLD SALEM RD NE



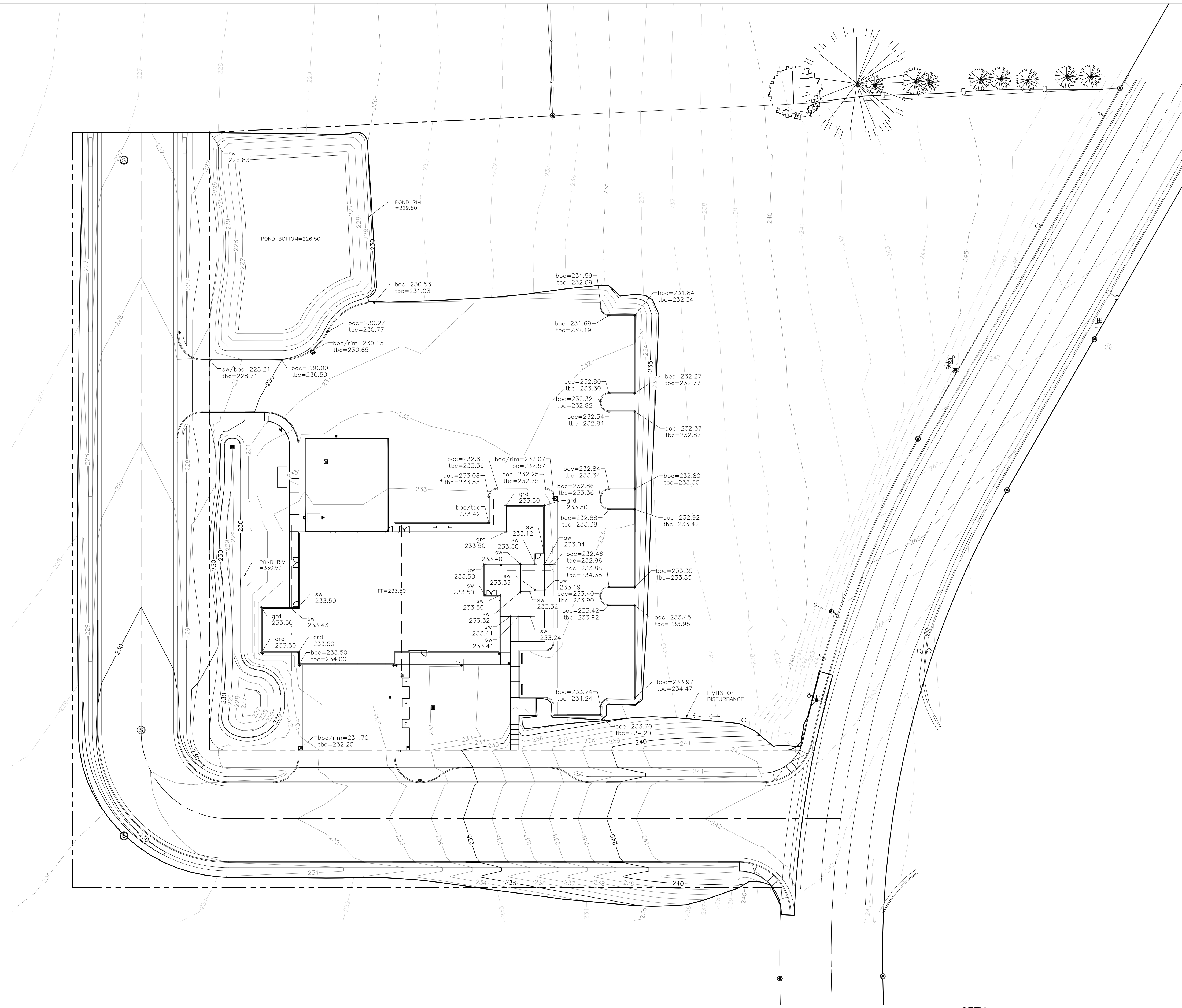
1 SITE PLAN
1" = 30'

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DATE 12/2/2020 1:28 PM
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 © 2019 CROW ENGINEERING, INC.

1 GRADING PLAN

1" = 30'



- GRADING GENERAL NOTES:**
- REFER TO GEOTECHNICAL REPORT PREPARED BY PBS ENGINEERING AND ENVIRONMENTAL, INC. AND DATED 8/28/2020 FOR REQUIRED SPECIFICATIONS REGARDING ALL GRADING AND SUBGRADE PREPARATION UNDER ALL ASPHALT, CONCRETE, AND BUILDING PADS
 - GROUND SURFACE WITHIN THE LIMITS OF PROPOSED IMPROVEMENTS SHOULD BE STRIPPED OF ALL ORGANIC MATERIAL AND REMOVED FROM SITE. TOP LAYER OF THIS MATERIAL SHALL BE RETAINED FOR LANDSCAPING AREAS
 - ALL CONTOURS SHOWN IN EXISTING SURVEY AND NEW DEVELOPMENT ARE AT 1 FT INTERVALS
 - EXCAVATION FOR ALL SITE UTILITIES INCLUDING STORM, SEWER, WATER AND POWER NOT SHOWN. SEE UTILITY PLAN AND GEOTECHNICAL REPORT FOR UTILITY TRENCHING AND BEDDING REQUIREMENTS FOR ALL UTILITIES

LEGEND

--- 350 ---	EXISTING GRADE MAJOR CONTOURS (10 FT INTERVALS)
--- 352 ---	EXISTING GRADE MINOR CONTOURS (2 FT INTERVALS)
--- 350 ---	FINISHED GRADE MAJOR CONTOURS (10 FT INTERVALS)
--- 352 ---	FINISHED GRADE MINOR CONTOURS (2 FT INTERVALS)
+ XX 13xx.xx	DESCRIPTION (SEE ABBREVIATION LIST) SPOT ELEVATION
+ boc=13XX.XX tbc=13XX.XX	BOTTOM OF CURB SPOT ELEVATION TOP BACK OF CURB SPOT ELEVATION

1200 NW Naito Parkway, Suite 410
Portland, OR 97209

T 503-228-5617
F 503-227-8584

sdra.com

Project

Millersburg Fire Station 15
Old Salem Road
Millersburg, OR 97321

Consultant

9925 SW Nimbus Ave
Suite 110
Beaverton, OR 97008

T 503-213-2013
F 503-213-2018
crowengineering.com

Revisions

No.	Description	Date

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Date
12/2/20

Project Number
20335

Drawing Title
GRADING PLAN

Sheet No
C2.00

Millersburg Fire Station 15
Old Salem Road
Millersburg, OR 97321



Project

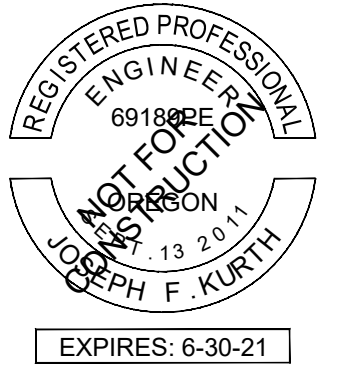
Consultant

9925 SW Nimbus Ave
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Beaverton, OR 97008
T 503-213-2013
F 503-213-2018
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Revisions

No.	Description	Date
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Date

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Project Number

20335

Drawing Title

SITE UTILITY PLAN

Sheet No

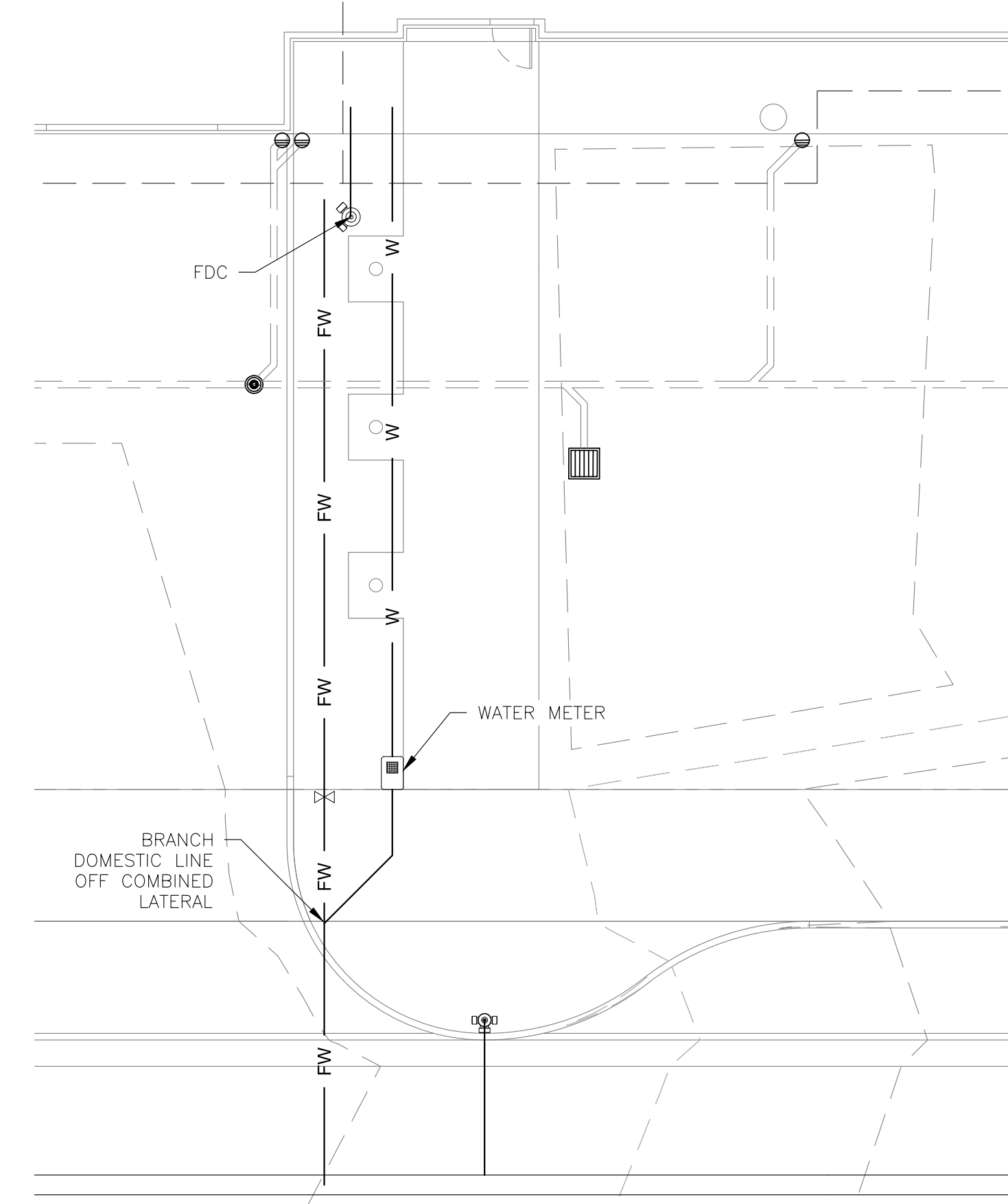
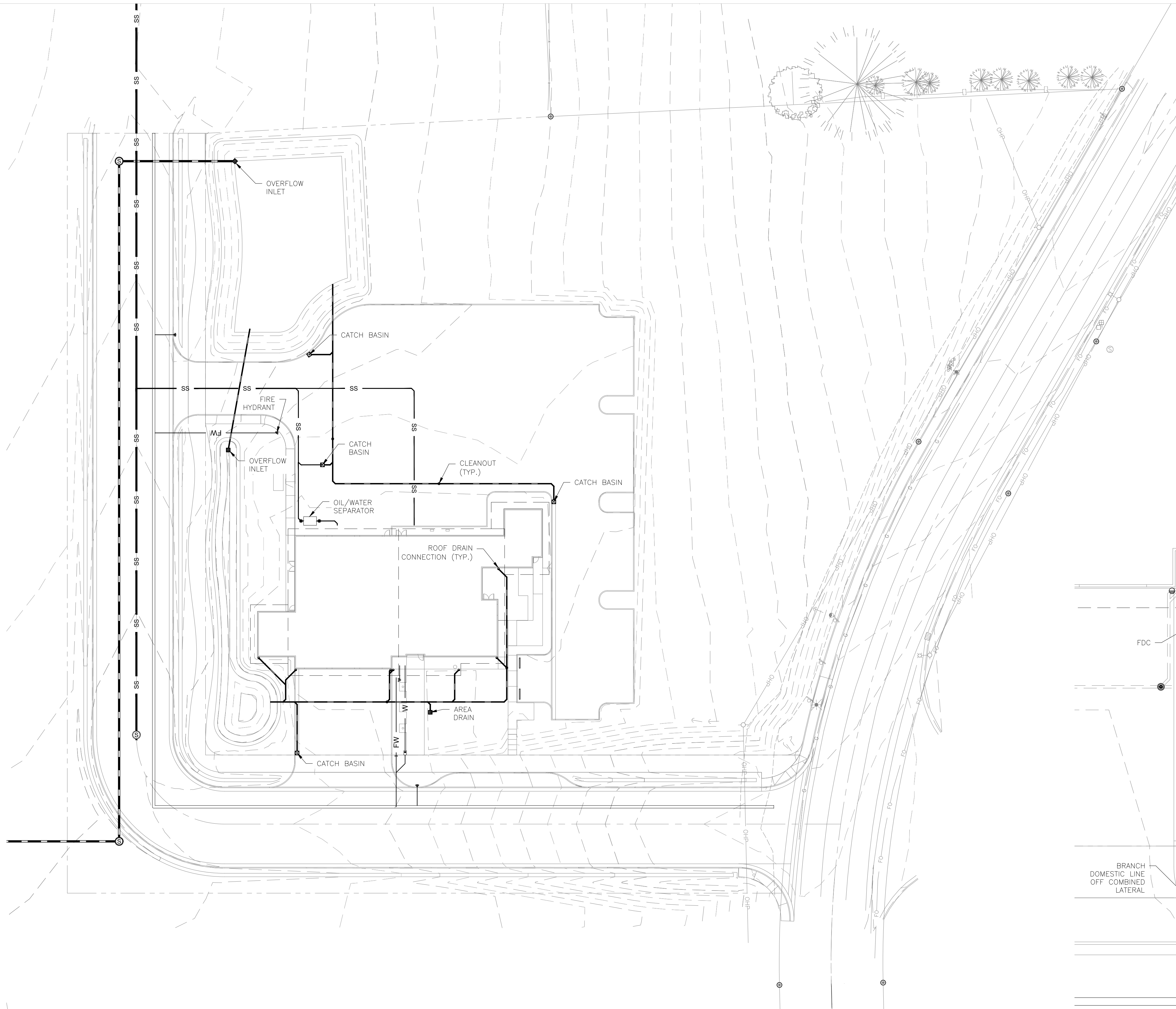
C3.00

UTILITY NOTES

1. ALL UTILITIES TO BE INSTALLED PER CITY OF MILLERSBURG STANDARDS, OREGON PLUMBING SPECIALTY CODE, OR PER DETAILS.
2. COORDINATE WITH MECHANICAL PLANS ALL SEWER AND WATER DESIGN ELEMENTS.
3. SEE GRADING PLAN FOR ALL STORM SYSTEM ELEMENTS SHOWN ON THIS PLAN BUT NOT CALLED OUT.
4. ALL WATER LINE JOINTS TO BE RESTRAINED.

LEGEND

- PROPOSED STORM LINE
- SS PROPOSED SANITARY LINE
- W PROPOSED WATER LINE
- FW PROPOSED FIRE LINE
- 350 FINISHED GRADE MAJOR CONTOURS (5 FT INTERVALS)
- 352 FINISHED GRADE MINOR CONTOURS (1 FT INTERVALS)
- PROPOSED CATCH BASIN
- PROPOSED AREA DRAIN
- PROPOSED STORM CLEANOUT
- PROPOSED STORM MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED SANITARY MANHOLE
- PROPOSED FIRE HYDRANT



1 UTILITY PLAN
1" = 30'

2 WATER AND FIRE LINE ENLARGEMENT
1" = 10'

DATE 12/2/2020 1:35 PM
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Project

Consultant

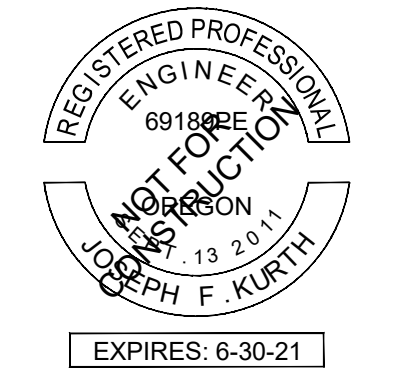


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Revisions

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Project Number

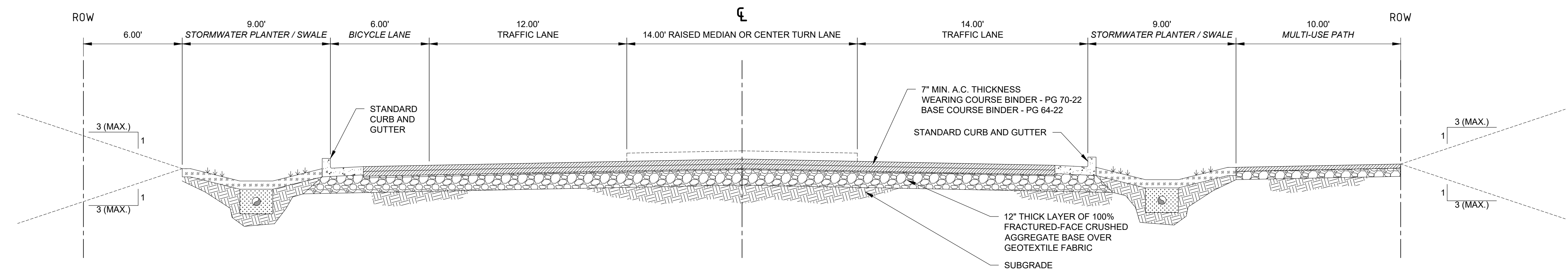
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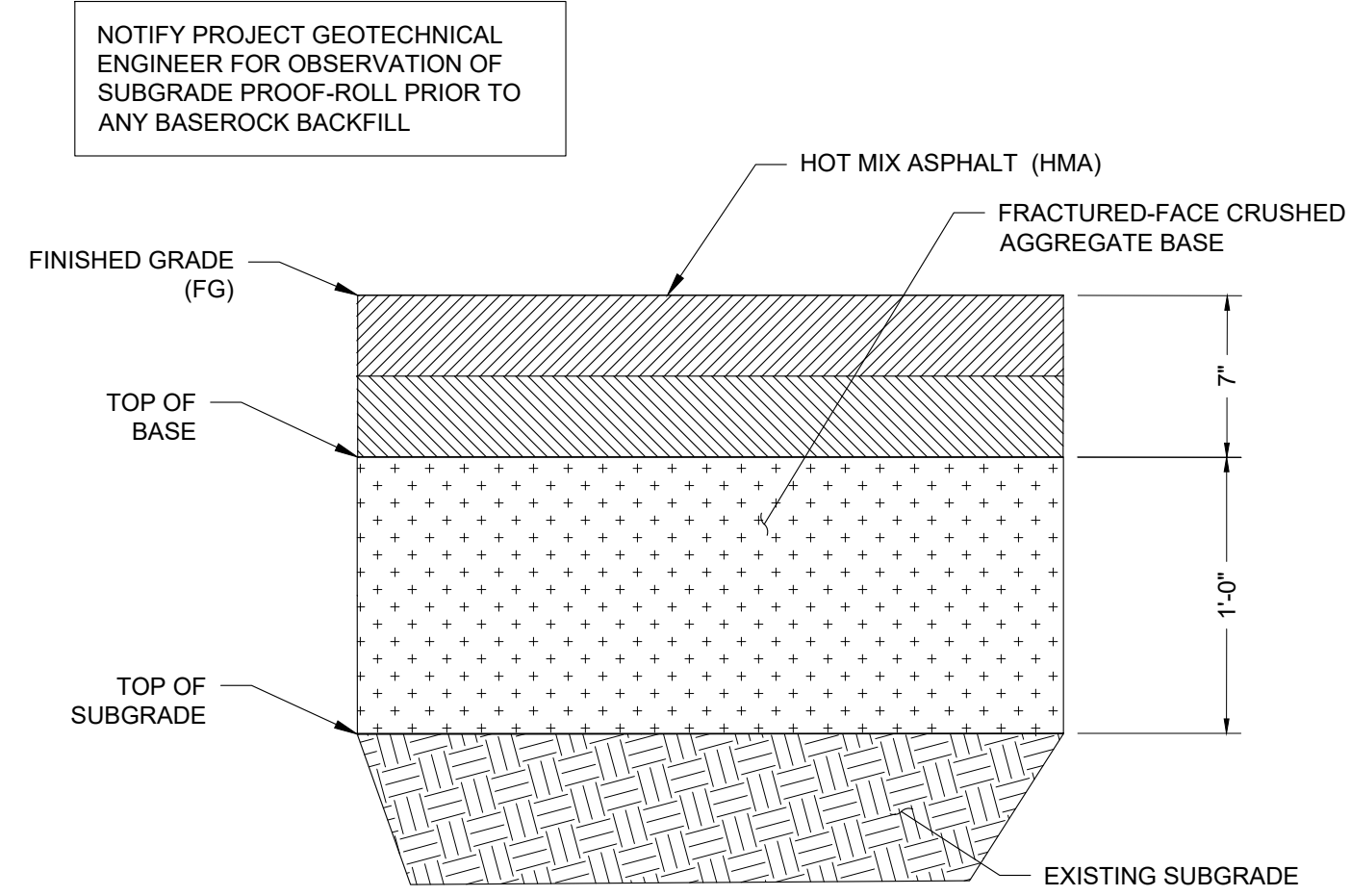
DETAILS

Sheet No

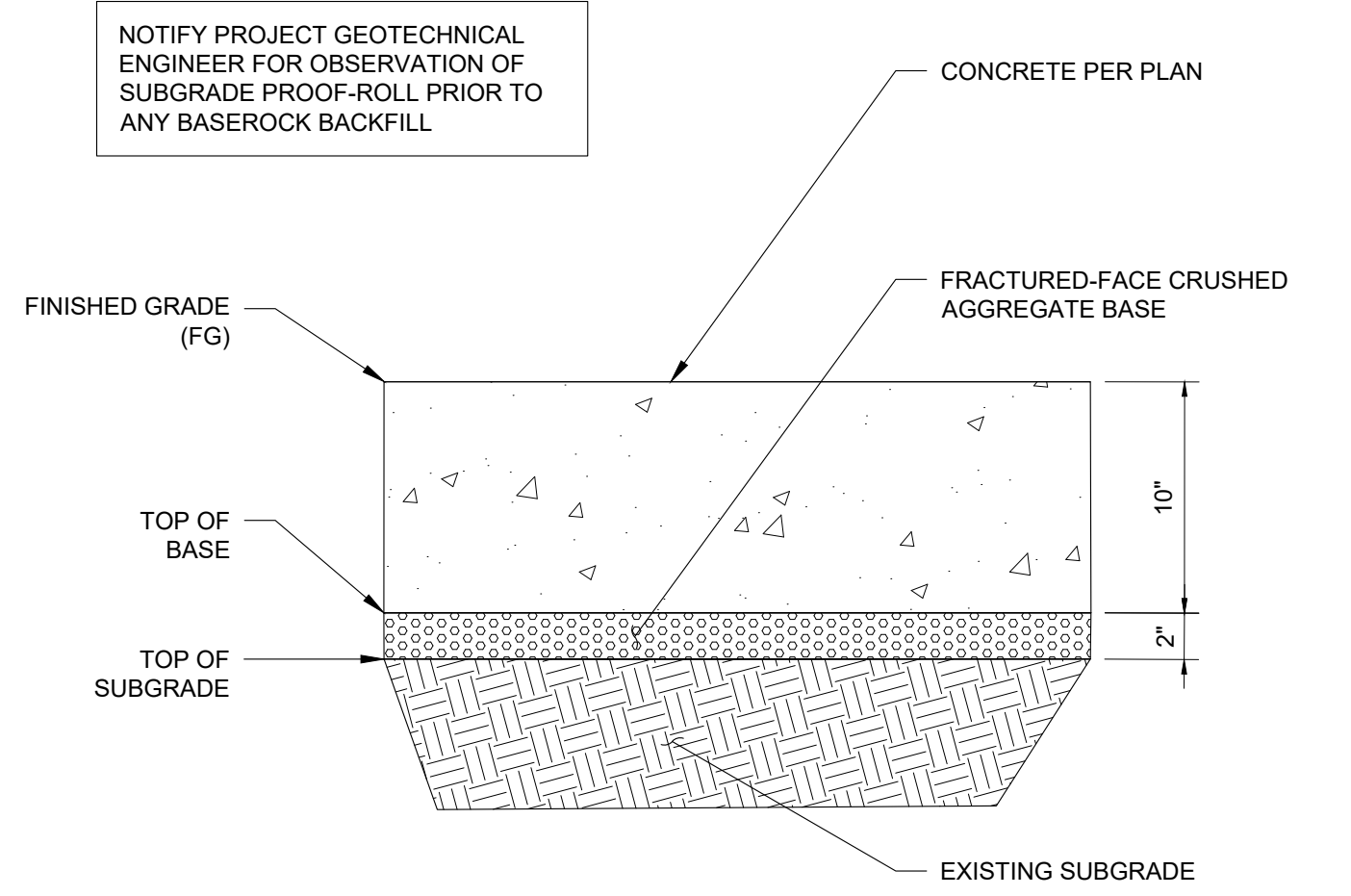
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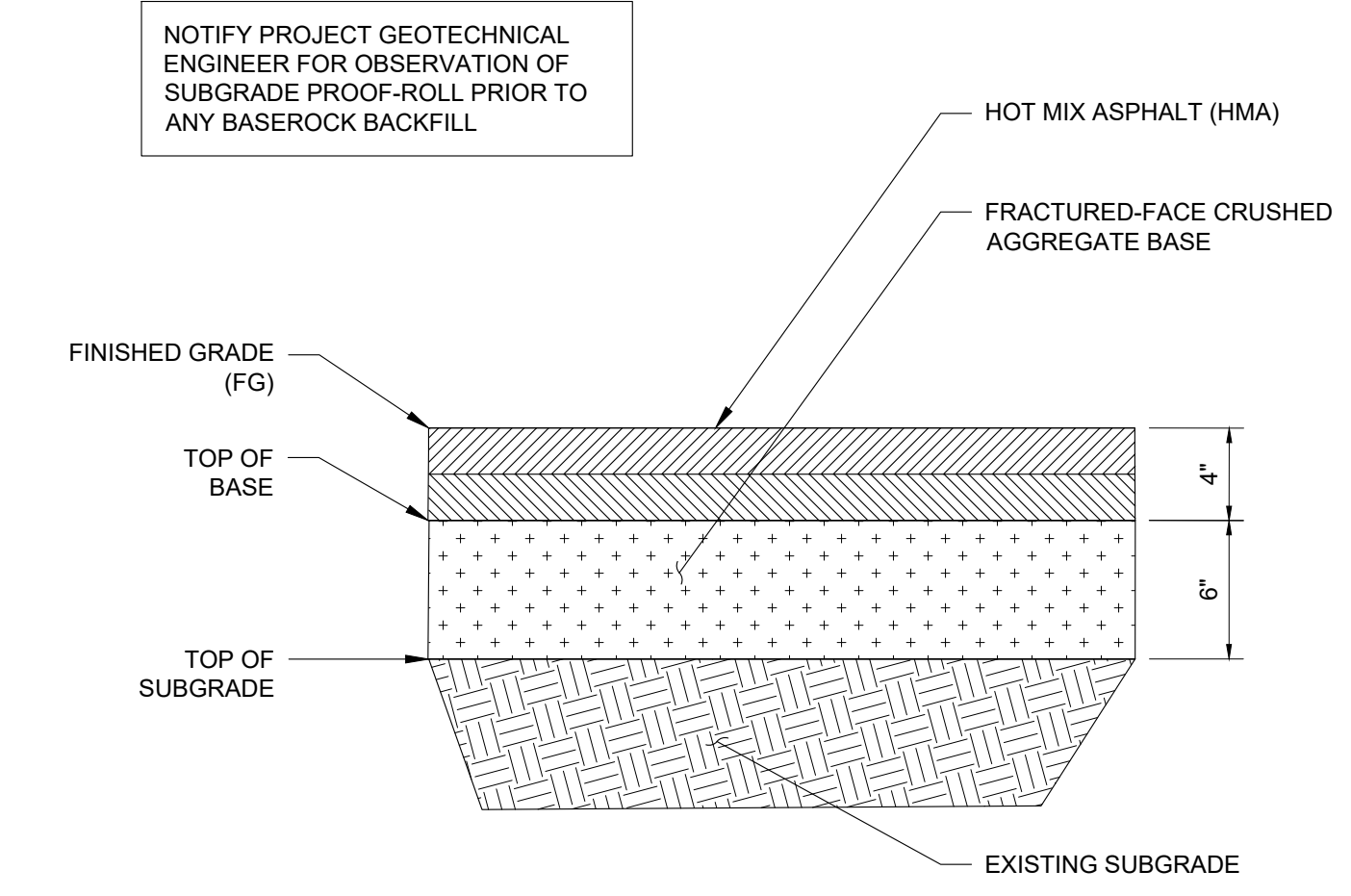
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C4.00 1"=4'



2 TYPICAL ONSITE ASPHALT PAVEMENT SECTION
C4.00 NTS

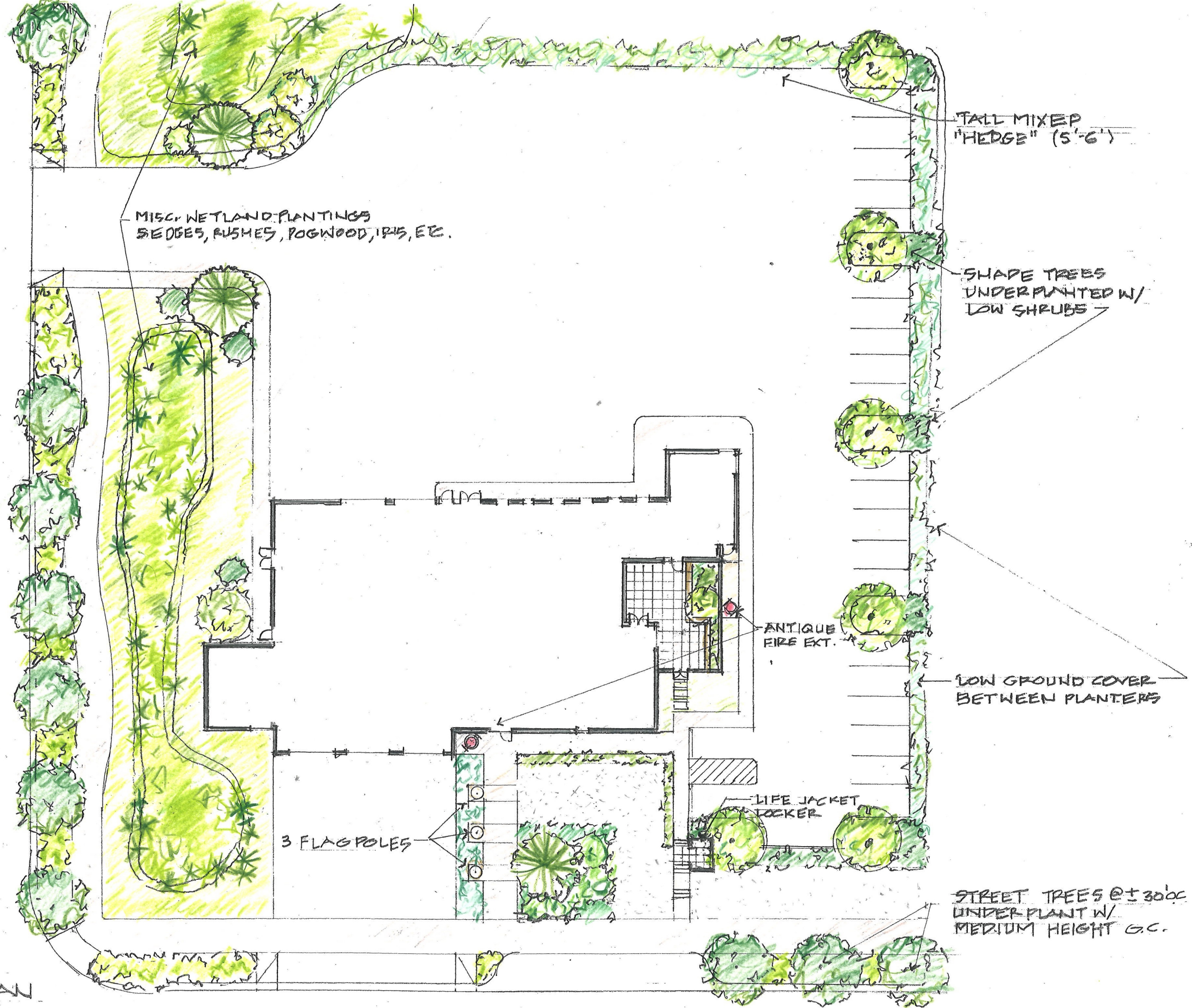


3 CONCRETE PAVEMENT/DRIVEWAY SECTION
C4.00 NTS



4 MULTI-USE PATHWAY SECTION
C4.00 NTS

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MISC. WETLAND PLANTINGS
SEDES, RUSHES, POGWOOD, IRIS, EE.

TALL MIXED
"HEDGE" (5'-6')

SHADE TREES
UNDERPLANTED W/
LOW SHRUBS

ANTIQUE
FIRE EXT.

LOW GROUND COVER
BETWEEN PLANTERS

3 FLAGPOLES

LIFE JACKET
LOCKER

STREET TREES @ ± 30' OC
UNDER PLANT W/
MEDIUM HEIGHT G.C.

MILLERSBURG FIRE ST. 15
REVISED LANDSCAPE PLAN
SODERSTROM ARCHITECTS
NOVEMBER 21, 2020 1" = 30'

Project Description: The City of Millersburg is proposing to construct a new fire station to serve the City of Millersburg on approximately 5 acres of an existing 59-acre parcel, currently owned by the City. The fire station will be staffed by Albany Fire personnel, through an intergovernmental agreement and will continue to provide 24/7 coverage to the City of Millersburg. The new station will replace the temporary station currently at 3360 NE Conser Road. There will be one new building, which includes the fire station and a community/meeting room, and associated parking, landscaping, signage, flagpoles, utilities, and stormwater management. The project will also include a new public roadway and public utilities sized to serve future industrial development.

Criteria: The applicable site development review criteria are from City of Millersburg Development Code Section 5.05.060.

(1) The proposed use is allowed in the zone and complies with the underlying zone development standards.

Fire station is a permitted use in the Public Facilities Zone. There are no applicable dimensional standards other than structure height and maximum lot coverage. The maximum structure height allowed is 60 feet. The proposed new structure height is 26.5 feet. Lot coverage is proposed to be less than the 80% allowed.

(2) The proposed use will not create negative impacts on the surrounding area resulting from traffic flow, noise, dust, glare, odor, potential incompatible adjacent uses such as parking lots, or other impacts identified in the public hearing process.

The new fire station and site are designed to mitigate any potential negative impacts on the surrounding area. See below for explanation of how each Standard is addressed to mitigate impacts.

Standards: The applicable standards are from Article 3 of the Development Code

3.02 Street Standards

The property currently fronts Old Salem Road. The project will include construction of a new street, which will provide access for the new station, as well as future industrial uses on adjacent properties. The new roadway will intersect with Old Salem Road at the curve south of the intersection with Conser Road. This is also the location of a future interchange on/off ramp.

The new road will be constructed to arterial standards for two lanes + center turn lane (per Table 12) with an 80-foot right-of-way width, 12 to 14-ft travel lanes, and 14-ft median. The road section also includes a 6-foot bicycle lane on one side and a 10-foot multi-use path on the other side. Sidewalks on the south and west sides of the new road are not included in this project for several reasons: there is no development currently existing or proposed to the south or east of the new road that would create a need for pedestrian facilities; future development of this area will require construction of private utilities (power, natural gas, telecommunications) which will likely impact the sidewalk; and a 10-foot wide multi-use path which will accommodate both

pedestrian and bicycle traffic will be constructed on the north and east side of the new road. 9-foot wide stormwater/planter strips will be provided between the back of curb and multiuse path. Street lighting will be designed per Millersburg standards.

The new road meets intersection and driveway spacing requirements. It will be approximately 1000 feet south of the nearest intersection (Conser Road and Old Salem Road) and more than 300 feet from the nearest driveways. Fire signals (flashing lights) will be provided both north and south of the new intersection to warn traffic of fire vehicles entering Old Salem Road.

Vehicles accessing the site will include fire and emergency response apparatus and personal vehicles. Trips per day for fire apparatus are estimated to be approximately 16 and for personal vehicles, approximately 30. The increase in traffic generated by the project is well below the threshold of 300 trips per day to warrant a traffic impact analysis.

3.03 Off Street Parking and Loading

The site includes a parking lot for both staff and public use. For municipal government facilities, parking requirements are 1 space per 800 sq. ft., plus 1 space per 2 employees. The new fire station footprint is 10,084 sf (not including mezzanine storage area) and the station is designed for up to 12 employees at shift change. This requires a total of 19 parking spaces. Additional parking spaces are also provided for the community/meeting room. Public meeting rooms are not a use specifically listed in the parking requirements of Section 3.03.050. Expected additional parking needed for the community meeting room is 10 spaces.

We propose 29 parking spaces, including 2 ADA parking stalls, 6 spaces designated for employee parking only, and the remaining 21 parking stalls available for public visiting the station or using the community room. One bicycle rack will be provided near the front entry of the building, which will provide parking spaces for at least 2 bicycles.

All parking, driveways, and maneuvering areas will be paved. Parking spaces will be 20 feet long by 9 feet wide; internal driveways will be a minimum of 26 feet wide. Parking lot lighting will be directed entirely onto the parking area and will not cast a glare or reflection onto moving vehicles on public rights of way.

3.04 Storm Drainage and Grading

A 1200-C permit and a Millersburg ESPC permit for temporary erosion protection during construction will be obtained by the contractor prior to any ground disturbing activities.

New permanent stormwater facilities are included for both the new road and the fire station site. They have been designed in accordance with City of Millersburg engineering standards for water quality and quantity. Stormwater facilities associated with the new street will be stormwater planter swales. For the fire station site, stormwater facilities include stormwater ponds/swales along the west side of the site.

Stormwater will be discharged from the new water quality and quantity facilities to the drainage channel located to the west within the existing City-owned industrial property.

3.05 Utility Lines and Facilities

Public utilities (water and sewer) will be extended within the new road right-of-way and sized to serve future industrial development on adjacent property. They are also designed for future extension into industrial properties to the south and west.

The fire station facility will require domestic water for the living quarters, irrigation for site landscaping, and fire suppression water. In addition, a fire hydrant will be provided onsite for fire personnel training purposes. Water will be supplied via the new water main to be constructed with the project within the new road right-of-way.

Regular strength domestic wastewater consistent with residential dwellings will be generated. Wastewater will be disposed via the new sewer main to be constructed within the new road right-of-way on the west side of the site, extending north to connect to an existing sewer manhole on the south side of Conser Road.

3.06 Signs

Directional and wayfinding signage will be included with the new fire station, as well as signage identifying the facility on the front face of the building. In compliance with Development Code Section 3.06.100, front signage will not exceed 120 sf in area. A sign permit will be obtained from the City of Millersburg prior to installation of building signage.

As a public facility, flags are required and have been included on permanent flagpoles in the landscape area in front of the building. Additional signage for traffic control and public safety will be included with the new roadway.

3.07 Fencing and Screening

Fencing is proposed around the garbage/dumpster area and around the emergency generator. Screening fencing is included around the courtyard area adjacent to the building. The site is not adjacent to residentially zoned properties and no additional fencing or screening is proposed.

3.08 Yard and Lot Standards

Because the site is not adjacent to residentially zoned properties, there are no required setbacks. However, the front (south) of the facility is set back approximately 48 feet from the edge of road right-of-way to allow sufficient space for fire apparatus to pull out of the station without blocking the multi-use path. On the west, the facility is set back approximately 30 feet from the new road right-of-way.

The road, driveways and landscaping have been designed to provide required vision clearance areas.

3.09 Landscaping Standards

The site will be landscaped per the submitted landscaping plan. Stormwater facilities (ponds, swales) will be planted with species approved for use in these facilities, per the Millersburg Engineering Standards. Parking lot landscaping is proposed in accordance with Development

Code Section 3.09.030. Landscape areas will be irrigated. There are not existing trees on the site.

Street trees and landscaping are provided along the north and east sides of the new road frontage, in accordance with requirements of Development Code Section 3.06.030, except where trees would conflict with vision clearance requirements. Landscaping is not proposed on the south and west sides of the new road. Landscaping in this area would be provided with future development of these properties.

3.21 General Standards

The project will not impact any natural drainage channels.

3.22 Wetland and Riparian Areas

There are no wetland or riparian areas on the project site. A wetland delineation has been completed for all of the City-owned parcels south of Conser Road, including the project area. The delineation did not identify wetlands within the project area. The delineation has been submitted to Oregon Department of State Lands for concurrence.

Consistency with Comprehensive Plan: The project is consistent with Section 9 of the Comprehensive Plan. The applicable Land Use Goals and Policies are addressed below.

The proposed development or use complies with the standards of the land use zone and does not conflict with city codes and ordinances that are applicable to the application.

The project meets all zoning ordinance requirements and development standards from the Millersburg Development Code.

The proposed development will not have an adverse impact on traffic flow or to pedestrian, bicycle and vehicular safety, and future street right-of ways are protected.

As previously described, the project will construct a new public road to serve the proposed fire station and future industrial area. The project also includes a new multi-use path for pedestrian and bicycle access and will be connected to the existing bicycle and pedestrian facilities along the west side of Old Salem Road. Due to the small number of anticipated trips associated with the new facility, a traffic study was not conducted.

It is anticipated that future development, including industrial growth on adjacent properties, could require signalization of the intersection of the new road and Old Salem Road. At this time, only fire signals (flashing lights) are included both north and south of the new intersection to warn of emergency vehicles entering the roadway.

Proposed signs or lighting will not, by size, location, color or operation, have an adverse impact on traffic, limit visibility or have an adverse impact on adjacent properties.

Signage and lighting is addressed above. It is not anticipated that there will be any adverse impact on neighboring property, traffic, or visibility.

Water, wastewater disposal and utilities are available and have the capacity to serve the proposed development or use and can be extended in the future to accommodate future growth beyond the proposed land division.

Utilities are addressed above.

The proposed development or use does not have an adverse impact on existing or proposed drainageways including flow disruptions, flooding, contamination or erosion and required drainage facilities are provided that have the capacity to serve the proposed development or use.

The project includes construction of stormwater quality and quantity facilities, designed in accordance with City of Millersburg Engineering Standards. A more detailed discussion of these facilities is provide above.

The proposed development or use does not conflict with the standards of other regulatory agencies having jurisdiction.

Project staff had a preliminary meeting with Linn County staff to discuss the project and impacts to Old Salem Road. All Linn County comments from the meeting have been incorporated into the design. A Linn County Encroachment Permit will be obtained for the portion of the project within the Old Salem Road right-of-way and all Linn County requirements will be addressed.

TO: Matt Straite, City Planner

FROM: Janelle Booth, Millersburg City Engineer

DATE: December 31, 2020

SUBJECT: SP 20-04 Millersburg Fire Station - Engineering Comments

Engineering has reviewed the above project and has the following comments:

1. Stormwater detention and water quality facilities shall be designed as required to meet city standards. Stormwater calculations shall be submitted to the City Engineer for review and approval. Maintenance of detention basin and water quality facilities shall be the responsibility of the City.
2. Applicant must obtain a City of Millersburg Erosion control permit and grading permit prior to construction.
3. In addition to City of Millersburg erosion control permit, applicant is required to obtain a 1200C Erosion Control Permit for site disturbance of one acre or greater. The applicant shall follow the latest requirements from DEQ for NPDES 1200-C Permit submittals. A copy of the approved and signed permit shall be provided to the City prior to any ground disturbing activities.
4. Submit engineering plans for all public improvements, including connections to public utilities (water, sewer, storm water, and streets) to City Engineer. The engineering plans shall conform to the Millersburg Engineering design standards, to the satisfaction of the City Engineer.
5. All required public improvement plans shall be approved by the City prior to beginning construction. All utilities shall remain uncovered until inspected and approved by the City. All required public improvements shall be completed and approved by the City prior to occupancy.
6. All required street signage and street lighting shall be approved by the City Engineer and installed.
7. Install the landscaping according to the landscape plan prior to occupancy or provide security, at the option of the City. Landscaping shall be completely installed or provide for erosion control measures around any disturbed or exposed areas.

8. Copies of any required federal or state permits that may be required shall be filed in the Record File of this application.
9. This approval does not negate the need to obtain permits, as appropriate from other local, state or federal agencies, even if not specifically required by this decision.

VIII. NOTICES TO THE APPLICANT

1. The Applicant shall comply with the fire protective standards administered by the Linn County Building Official and the Albany Fire Department. Hydrant and Turnaround locations shall be provided by the Applicant and approved by the Albany Fire Department and the City.
2. All required street signage and street lighting shall be approved by the City Engineer and installed.
3. Dust shall be controlled within the development during construction and shall not be permitted to drift onto adjacent properties.
4. All construction sites shall be maintained in a clean and sanitary condition at all times. Construction debris, including food and drink waste, shall be restricted from leaving the construction site through proper disposal containers or construction fencing enclosures. Failure to comply with this condition may result in a "Stop Work" order until deficiencies have been corrected to the satisfaction of the City.



TO: Matt Straite, Planner

From: Lora Ratcliff, Fire Marshal

DATE: December 23, 2020

SUBJECT: SP-20-04 – New Albany Fire Station– Fire Department Comments

The fire department has reviewed the above project for conformance to the 2019 Oregon Fire Code (OFC) per your request and has the following comments, which are based on limited information provide for the pre-application meeting and are subject to change.

**** NOTE: Addition of a private fire line will result in a quarterly Fire Line Fee***

1. The structure will be required to be addressed off the new road due to orientation of the building.

Please suggest three street names, in order of preference, to Lora Ratcliff at Albany Fire for vetting and approval.

2. Approved fire apparatus roadways must extend to within 150 feet of all exterior portions of any structure that will be built on the property as measured by an approved route of travel around the exterior of the structure. (OFC 503.1.1)
3. Dead-end fire apparatus roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus (OFC 503.2.5 and D103.4)

No dead ends are proposed

4. The fire apparatus roadways for this project are required to be provided and maintained at a minimum of 20 feet wide of improved surface and an unobstructed vertical clearance of not less than 13 feet 6 inches. (OFC 503.2.1)
5. Private fire apparatus access roadways shall be permanently marked "NO PARKING—FIRE LANE using a combination of "YELLOW" painted curbing and approved signs spaced along the road edge as follows: (OFC 503.3 & Appendix D 103.6)
 - Roads 20 to 26 feet in width – Posted both sides at 50-foot intervals
 - Roads more than 26 feet in width – Posted on one side (as approved) at 50-foot intervals

The plans submitted for this review do not identify where or how this marking will be provided. Future plans shall identify all private fire apparatus access roads and the marking to be provided.

6. Turning radii for all fire apparatus access roads shall be provided and maintained at no less than 30 feet inner and 50 feet outer (OFC 503.2.4 & Appendix D 103.3)

Future plans shall be annotated to show the turning radii of all private fire apparatus access roadways and pathways through your private parking areas (if part of the required fire apparatus access road).

7. The road surface for all private fire apparatus access roads shall be all weather and capable of supporting an imposed load from fire apparatus of at least 75,000 pounds as verified by a qualified State of Oregon licensed design professional. (OFC 503.2.3 & Appendix D, 102.1). The Designer of Record shall provide written certification to the Fire Department upon completion of all private access road construction.

The Albany Fire Department does not accept the use of Grasscrete, Geoblock or other engineered surface pavers that allow for grass to grow up through the pavers to meet the requirement as an all-weather surface.

Future plans shall illustrate how this design will be achieved and identify that the certification requirement will be met.

8. This proposed project is located within a “Protected Area” as defined by Oregon Fire Code (OFC) Appendix B, Section B102 and this area is currently served by a public water system. The Fire Flow required for shall be as specified in Appendix B of the fire code. (OFC 507.3)

The fire flow demand for the proposed building(s) could not be determined. Future submittals shall include documentation showing the calculation of the fire flow demand for this building in accordance with Appendix B of the Oregon Fire Code.

9. The location and spacing requirements for fire hydrants are based on four project-specific criteria:
- The distance from the most remote exterior point of the building(s) to the closest available fire hydrant.
 - The calculated “fire flow” of the proposed building(s)
 - The spacing of the existing fire hydrants along the public and private fire apparatus roads serving the property.
 - The location of new required public or private fire apparatus access roads located adjacent to the proposed building(s) to be constructed.

The requirements for fire hydrants for this proposed project will be based on the following requirements:

- a. Fire hydrant location: All portions of buildings constructed or moved into the City shall be located within 400 feet (600 feet for fire sprinkler-protected buildings) of a fire hydrant located on a fire apparatus access road using an approved route of travel. (OFC 508.5.1)

Future plans shall show the distance(s) to existing and proposed hydrants.

- b. Required hydrants based on the required fire flow as calculated in accordance with OFC 503.7 and OFC Appendix B. The minimum number of fire hydrants is determined by OFC Table C105.1.

Future plans shall indicate the calculated fire flow and hydrants required.

- c. Required fire hydrant spacing will be based upon your required fire flows as determined by OFC Appendix C105.1 and Table C105.1. Please note that dead end roads require a reduced spacing.
- d. Fire hydrant spacing along new/required fire apparatus access roads. In addition, OFC Section C103.1; requires the placement of additional hydrants along all of your required fire access roads that are adjacent to any proposed building (and any future additions) and circulating through your private property with spacing requirements per Appendix C 105.1. (See 2009 ICC Commentary, Appendix C-1, Section C103.1).

Matt Straite, Planner

SUBJECT: SP-20-04 – New Albany Fire Station– Fire Department Comments

Page 3

January 11, 2021

10. All fire hydrants shall be provided with approved STORZ fittings (C 102.1). Private fire hydrants shall be painted WHITE and maintained by the property owner in accordance with NFPA Standard #25. Public fire hydrants shall be painted in accordance with Public Works Department Standards.
11. Location of any Fire Department Connections (FDCs) that may serve any fire sprinkler system(s) protecting your buildings shall be installed at a location approved by the Albany Fire Department and shall be provided with approved STORZ fitting. The FDC shall be located near the site entrance as not to obstruct subsequent arriving fire apparatus and within 40 feet of a fire hydrant (public fire hydrants whenever possible) and at least 1 ½ times the height of the building away from the structure, to be outside the collapse zone. (OFC 903.3.7 and Albany Fire Department requirements)
12. The Fire Department requests that the buildings for this project be provided with an exterior accessible room or rooms that will provide direct access to any fire sprinkler system risers. The main Fire Alarm Control Panel (FACP) should be located in one of these rooms, with these rooms sized to accommodate all of the fire protection equipment and two fire fighters. Fire sprinkler and fire alarm coverage zone diagrams should be mounted to the walls, with these rooms sized to provide a minimum of 3 feet walking clearance to this fire protection equipment.
13. All buildings shall be provided with an approved fire department key box mounted at a location to be approved by the Fire Department at the time of your Building Permit submittal review. (OFC 506)
14. Your Civil Site Plan submittal for all future Planning and Building permit approval shall show fire protection details as required on the “Fire Site Plan Submittal Checklist” located on the City of Albany’s web site at:
http://www.cityofalbany.net/images/stories/cd/devcenter/forms/fire_site_plan_review.pdf

LAR/lar

Lora.ratcliff@cityofalbany.net

541.917.7728



RE: Site Development Review Request for a new Fire station in Millersburg (SP 20-04)

1 message

Taylor, Stephanie <staylor@co.linn.or.us>
To: Matt Straite <matts@migcom.com>

Fri, Jan 8, 2021 at 2:59 PM

Hi Matt,

RE: SP 20-04 – City of Millersburg

Comments from the Linn County Road Department:

A Public Street Access Permit is required. Contact the Linn County Road Department for more information.

Thanks,

Stephanie Taylor

Linn County Road Department

3010 Ferry Street SW

Albany, OR 97322

staylor@co.linn.or.us

(541) 967-3919

From: Matt Straite <matts@migcom.com>

Sent: Tuesday, December 22, 2020 1:06 PM

To: Orcutt, Cathy (SO) <corcutt@linnsheff.org>; Sterling, Derrick <dsterling@co.linn.or.us>; Billers@nwnatural.com; d6b@nwnatural.com; Bonn, Christopher <cbonn@co.linn.or.us>; Scott.Seaton@pacificcorp.com; jeff.r.lehmeyer@usps.gov; Chris.LaBelle@cityofalbany.net; Janelle Booth <jbooth@cityofmillersburg.org>; planninglist@cityofalbany.net; Ratcliff, Lora <Lora.ratcliff@cityofalbany.net>; Sean <sshortes@co.linn.or.us>; or.97208amsportland@usps.gov; Barnett, Steve <sbarnett@co.linn.or.us>; Taylor, Stephanie <staylor@co.linn.or.us>

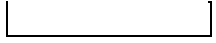
Subject: Site Development Review Request for a new Fire station in Millersburg (SP 20-04)

Please see the attached documents for your agency's review of Millersburg Application SP 20-04. The project is tentatively scheduled for a hearing on January 19, 2021. Please have your comments back by January 8, 2021. Let me know if you have any questions.

Sorry for this not coming from my Millersburg email address, it's having issues and I did not have time to wait. You can respond to either email address, thank you.

Matt Straite

Principal- Planning



PLANNING | DESIGN | COMMUNICATIONS | MANAGEMENT | SCIENCE | TECHNOLOGY

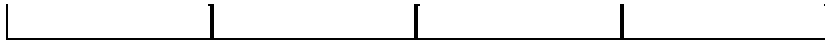
[815 SW 2nd Avenue, Suite 200](#)

Portland, Oregon 97204 | USA

o 503-297-1005

matts@migcom.com

www.migcom.com





NOTICE OF PUBLIC HEARING

****Special COVID 19 Process, Read Carefully****

January 19, 2020, 6:00 p.m.

****By Phone or Online ONLY****

Join by URL:

<https://aspenuc.accessionmeeting.com/j/1167791701>

See more detailed instructions on the next page

Or join by phone:

Dial: +1 5032129900 (US Toll)

Meeting ID: 116 779 1701

Due to the COVID-19 situation the **MILLERSBURG PLANNING COMMISSION** will hold a public hearing by phone and online only to consider the request described below. The City is taking this precaution to keep the Planning Commission, the applicant, Staff and the public safe. If anyone needs any special accommodations, please let the City know in advance of the hearing. The hearing item may be heard later than the time indicated, depending on the agenda schedule. Interested parties are invited to send written comment or may testify by phone or online during the hearing. Failure of an issue to be raised in the hearing, in person or by letter, or failure to provide sufficient specific information to allow the Commission an opportunity to respond to the issue will preclude your ability to appeal the decision to the Land Use Board of Appeals based on that issue.

The application, all documents and evidence submitted by or on behalf of the applicant and the applicable criteria are available for inspection at no cost or copies are available for a minimal cost. City Hall is temporarily closed to the public. Any document request must be made by phone or email, or can be viewed at the following web location- <https://www.cityofmillersburg.org/planning/page/current-planning-applications>. A staff report relating to the applicant's proposal will be available seven days prior to the public hearing at the same web location. For further information, contact Millersburg City Hall at (458)-233-6300.

APPLICANTS:	City of Millersburg
LOCATION:	Southerly of Firehouse Corner Deli and Market on Old Salem Road, across the street from Callisto Integration
TAX LOT:	Township 10 South; Range 3 West; Section 28; Tax Lot 00100
PARCEL SIZE:	5 acres of a 59 acre parcel
ZONING:	Public Facilities (PF)
REQUEST:	The City is requesting to build a new fire station to replace the existing temporary facility on Conser Road. The new station is proposed to be a 9,935 square foot building, with new landscaping/drainage features, parking area and two new streets.
CRITERIA:	Millersburg Development Code; Section 2.400(2)
FILE No.:	SP 20-02

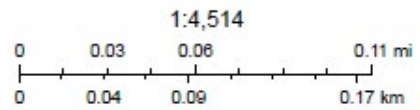
If you need any special accommodations to attend or participate in the hearing, please notify City Hall twenty-four hours before the meeting. For further information, please contact City Hall at (458)-233-6300.

SP 20-04 Vicinity Map



12/16/2020, 2:36:30 PM

- Roads
- ▭ Tax Lots



Join Meeting Instructions – General Public

To join the meeting via computer:

1. Click on the link provided or enter the link in your web browser. You will see the following:

Your meeting should start in a few seconds...



If nothing prompts from browser, [download & run](#) .

If this is your first time joining an AspenUC meeting, you will be prompted to install a file. This should run automatically. If not, you may need to click on the blue text. The computer will ask if you want to install the program. Click Yes.

2. The program will now ask you if you want to join the audio using your computer or your phone.
 - o If you want to use the computer audio and microphone, click yes. You will now join the meeting.
 - o If you want to use your phone:
 - click the button on the computer screen that says 'use phone audio.'
 - You will now join the meeting.
 - Dial 503-212-9900. When asked, enter the Meeting ID.
 - You will also be asked to enter you participant ID number. It should be on the computer screen in front you. If you do not have a participant code, just enter #.
3. While the meeting is in progress, you will see the participant toolbar at the bottom of the screen.

Participant toolbar:



4. Use the **Microphone** icon to toggle your microphone on  and off  ..
5. To speak during Public Comment periods “raise hand” by clicking on the hand icon. When the presiding officer calls upon you to speak, the meeting organizer will unmute you. Once your comment period is finished, you will be muted again.

To join the meeting via phone (audio only):

Enter the Dial-in number and when prompted, enter the Meeting ID. If you do not have a participant code, just enter #.

During the meeting, all public participants will initially be muted. During periods for public comment, public participants will be unmuted.

All normal public meeting rules will be followed.